

# **TOWN OF DAVIE TOWN COUNCIL AGENDA REPORT**

**TO:** Mayor and Councilmembers

**FROM/PHONE:** Mark Kutney, AICP, Development Services Director/ (954) 797-1101  
Prepared by: Bradley Swing, AICP, Planner II

**SUBJECT:** Ordinance – Land Use Plan Amendment  
LA 02-9/BG Pine Island Corp & 77 Acre Trust, 8501 Orange Drive/Generally located at the northwest corner of Pine Island Road and Orange Drive.

**AFFECTED DISTRICT:** District 3

## **TITLE OF AGENDA ITEM:**

AN ORDINANCE OF THE TOWN OF DAVIE, FLORIDA, ADOPTING APPLICATION LA 02-9, AMENDING THE TOWN OF DAVIE COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE PLAN MAP DESIGNATION OF CERTAIN LANDS FROM “COMMERCIAL” TO “RESIDENTIAL 10 DU/AC”; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

**REPORT IN BRIEF:** This request is to change the land use designation for a 9.99 acre vacant parcel of land located at the northwest corner of Orange Drive and Pine Island Road from Commercial to Residential 10 du/ac. Current land use for the subject property would allow 100,000 square feet of commercial use. The applicant has proposed the land use designation of Residential 10 du/ac to allow for the development of 100 townhouses at a density of 10 units per acre. The Comprehensive Plan identifies the need to ensure that appropriate measures are taken upon development of this property to protect existing adjacent residential developments. The designation of this site as residential would be compatible with the multi-family residential developments to the north and east while the existing Central Broward Water Control District canal and planned 3.5 acre conservation area would provide a buffer to the vacant Residential 1 du/ac land to the west.

**PREVIOUS ACTIONS:** None

**CONCURRENCES:** The Local Planning Agency (LPA) voted at the January 22, 2003 meeting to approve the application (motion carried 4-1).

**FISCAL IMPACT:** None

**RECOMMENDATION:** Staff finds the subject application complete and suitable for transmittal to Town Council for further consideration.

**Attachments:** Ordinance, Planning Report, Existing Future Land Use Map, Proposed Future Land Use Map, Subject Site, Zoning and Aerial Map, Land Use Plan Amendment Application

ORDINANCE \_\_\_\_\_

AN ORDINANCE OF THE TOWN OF DAVIE, FLORIDA, ADOPTING APPLICATION LA 02-9, AMENDING THE TOWN OF DAVIE COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE PLAN MAP DESIGNATION OF CERTAIN LANDS FROM "COMMERCIAL" TO "RESIDENTIAL 10 DU/AC"; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Davie desires to amend the Future Land Use Map of the Comprehensive Plan as designated on the property described below from Commercial to Residential (10 du/ac) by allocating 100 reserve units available in Flex Zone 99; and

WHEREAS, the Town of Davie Local Planning Authority held a public hearing on January 22, 2003, noticed in accordance with Section 12-303 of the Code of Ordinances of the Town of Davie and Chapter 163.3184(15), Florida Statutes; and

WHEREAS, the Town Council of the Town of Davie held a public hearing on February 5, 2003, noticed in accordance with Section 12-303 of the Code of Ordinances of the Town of Davie and Chapter 163.3184(15), Florida Statutes; and

WHEREAS, the proposed amendment is in conformance with the Town of Davie Comprehensive Plan and the Broward County Land Use Plan.

WHEREAS, the proposed amendment is a small scale land use plan amendment in conformance with Chapter 163.3187(1)(c), Florida Statutes and does not require transmittal to the Department of Community Affairs prior to adoption..

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF DAVIE, FLORIDA.

SECTION 1. That the future land use plan map designation for the property described and illustrated on Exhibit "A" attached hereto, be and the same is hereby amended and changed from Commercial to Residential 10 du/ac.

SECTION 2. That the future land use plan map hereto adopted by the Town Council be and the same hereby amended to show the property described in Section 1, herein, as Residential 10 du/ac.

SECTION 3. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held invalid or unconstitutional by any Court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portion of this Ordinance.

SECTION 4. The effective date of this plan amendment shall be conditional upon Broward County Planning Council recertification and the date a final order is issued by the Department of Community Affairs or Administration Commission determining the adopted small scale amendment in compliance in accordance with Section 163.3187, F.S.

PASSED ON FIRST READING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2003

PASSED ON SECOND READING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2003

\_\_\_\_\_  
MAYOR/COUNCILMEMBER

ATTEST:

TOWN CLERK

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2003

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**TOWN OF DAVIE**  
**Development Services Department**  
**Planning & Zoning Division Staff**  
**Report and Recommendation**

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**APPLICANT INFORMATION**

<b><u>Owner:</u></b>		<b><u>Agent/Council:</u></b>	
<b>Name:</b>	BG Pine Island Corp & 77 Acre Trust	<b>Name:</b>	Calvin, Giordano & Associates Shelley Eichner
<b>Address:</b>	1000 South Federal Highway	<b>Address:</b>	1800 Eller Drive, Suite 600
<b>City:</b>	Boynton Beach, FL 33435	<b>City:</b>	Fort Lauderdale, FL 33316
<b>Phone:</b>	(561) 522-3636	<b>Phone:</b>	(954) 921-7781

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**BACKGROUND INFORMATION**

**Application Request:** Land Use Plan Amendment for approximately 9.99 acres of land  
**From:** Commercial **To:** Residential 10 du/ac.

**Applicant's Stated Reasons for the Amendment:** The applicant states "The amendment site is 9.9999 gross acres and 9.9999 net acres. Under the LM land use designation the allowable density is 100 units. The site is currently vacant and vested for approximately 100,000 square feet of commercial. Surrounded by residential development, this designation for a large parcel is not appropriate. A small commercial out-parcel will be retained by the owner/seller. The small commercial parcel is more compatible next to residential and would be appropriate for the corner, similar to the NE corner of the same intersection.

At one time the area was considered suburban, if not semi-rural in character. Griffin Road was a local 2-lane road, as was Pine Island Road, and Interstate 75 did not exist. Reflecting Broward County's urbanization as a whole, the surrounding area has been developed increasingly in an urban or semi-urban manner. Many new roads have been constructed or widened. The development of Griffin Road into a major 6 lane artery, the construction of Interstates 75, 95 and 595, the expansion of the Fort Lauderdale-Hollywood International Airport, the implementation of mass transit and the ongoing development and redevelopment of the area's nearby residential and commercial parcels makes a low moderate designation appropriate.

The proposed development of the site is 100 townhouses at a density of 10 units per gross acre. Development of townhouses requires rezoning to a Town of Davie RM district. The RM districts are intended for moderate densities (medium land use plan

designation allows up to 16 units per gross acre). By rezoning utilizing the flexibility rules, the applicant proposes to utilize 100 reserve units. The applicant proposes to use the Planned Townhouse standards in the RM-10 Zoning.

“Reserve Units” mean additional permitted units equal to 2% of the total number of units permitted within a flexibility zone by the Broward County Land Use Plan.

The site is located within Flexibility Zone 99. Currently, according to the Broward County Planning Council, there are 135 reserve units available in Flex Zone 99. 100 Reserve units will be applied to the property. The Broward County Land Use Plan will not be amended. The Town of Davie Land Use Plan will be re-certified by the Broward County Planning Council after the “flex rezoning” is adopted.

The rezoning to multi-family is compatible with surrounding development patterns due to the site’s proximity to commercial and multi-family development and proximity to Pine Island and Tree Tops Parks. Adjacent plan designations include commercial on 2 sides, and LM 10 on the north. There is also a Medium 16 parcel just northeast of the subject site. The area to the west is designated Estate (zoned AG, Agricultural District), however it is separated by a CBWCD Canal and dense vegetation. The subject site’s open space area will act as a buffer to the Estate designation.

The proposed development will attract permanent owner-residents, families and working professionals. The proposed design also is setting aside a large 3 acres consolidated open space, in addition to meeting the required landscaping requirements and buffers and providing on-site recreation amenities. The applicant is working with the neighboring townhouse development to provide additional buffers and plantings. Multi-family properties in the area carry a land use density of Low Medium 10 and Medium 16. Nearby multi-family town house developments include Reflections, Alpine Woods and Isla Merita.”

**Affected District:** District 3

**Address/Location:** 8501 Orange Drive/Generally located at the northwest corner of Pine Island Road and Orange Drive.

**Future Land Use Designation:** The existing land use plan designation is Commercial on the Town of Davie Future Land Use Plan Map and Commercial on the Broward County Land Use Plan Map.

**Existing Use:** Vacant

**Existing Zoning:** Community Business (B-2)

**Proposed Use:** 100 Townhouses

**Parcel Size:** 9.99 acres

**Surrounding Existing Use:**

**North:** Multi-family Townhouses

**South:** Orange Drive, C-11 Canal, Commercial Plaza (Cooper City)

**East:** Vacant Commercial Land, Gas Station across Pine Island Road

**West:** Vacant (former grove)

**Surrounding Future Land Use Plan Designation:**

**North:** Residential (10 DU/AC)

**South:** Recreation & Open Space, Commercial (Cooper City)

**East:** Commercial, Residential (5 DU/AC)

**West:** Commercial, Residential (1 DU/AC)

**Surrounding Zoning:**

**North:** RM-10, Medium Density Dwelling

**South:** B-2, B-1 (Cooper City)

**East:** B-2, Community Business, B-3, Planned Business Center

**West:** B-2, Community Business, AG, Agricultural District

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**ZONING HISTORY**

**Related Zoning History:** None

**Previous Requests on Same Property:** Town Council approved the Pine Island Commercial Plat (Plat Book 167, Page 50) on March 3, 1998 by Resolution 98-78.

Resolution R 99-243 was approved on July 21, 1999 related to the installation of required improvements associated with the Pine Island Commercial Plat.

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**Comprehensive Plan Considerations**

**Planning Area:** The subject property falls within Planning Area 5. Planning Area 5 is bound by Nova Drive on the north, University Drive on the east, and Nob Hill Road on the west. The southern limits are SW 36 Street, on the western portion and Orange Drive on the eastern portion. This planning area is comprised of residential uses developed at a density of three to 22 dwelling units per acre and commercial development, existing and proposed, along the University Drive and Orange Drive

corridors. The Pine Island Ridge, classified as environmentally sensitive, has been preserved within this planning area.

**Broward County Land Use Plan:** The subject site falls within Flexibility Zone 99.

**Concurrency Considerations:** Adequate potable water and sanitary sewer capacity, drainage, solid waste capacity and park acreage will be available to serve the proposed designation.

The proposed land use change from Commercial to Residential 10 du/ac will create the following impacts on public facilities and services:

*Potable Water:* The area of this amendment will be served by potable water facilities from the City of Sunrise. The City of Sunrise treatment plant has a design capacity of 43 million gallons per day (mgd) with a current demand of 25.25 mgd. The amendment will result in a net increase in demand of 15,658 gallons per day. Sufficient potable water capacity is available to serve the proposed amendment.

*Sanitary Sewer:* The area of this amendment will be served by sanitary sewer facilities from the City of Sunrise. The City of Sunrise wastewater treatment plant has a capacity of 30.0 mgd with a current system demand of 21.43 mgd. The amendment will result in a net increase in demand of 15,658 gallons per day. Sufficient sanitary sewer capacity is available to serve the proposed amendment.

*Solid Waste:* The amendment is served by the Broward County's two (2) resource recovery facilities and the County Interim Contingency Landfill. The current capacity at the resource recovery facilities is 1,600,000 tons per year (tpy) and the Broward Interim Contingency Landfill has a capacity of 3,800,000 cubic yards. The proposed amendment will result in an increase in demand for solid waste in the amount of 5,110 pounds per day. There is sufficient capacity to serve the future solid waste demands of the amendment area.

*Drainage:* The proposed amendment site is located within the jurisdiction of the Central Broward Water Control District. Adequate facilities are available to meet the needs of this project.

*Traffic Circulation:* The results of the traffic analysis performed for the subject site project a reduction in PM peak hour trips of 575, or 90 percent fewer PM peak hour trips associated with the proposed amendment versus the trips associated with development of the site with 9.99 acres of commercial use. Analysis of the 2015 traffic forecasts plus the projected traffic reductions associated with the amendment indicates that three (3) roadway links; Nob Hill Road north of Orange Drive, University Drive south of Griffin Road and University Drive north of Stirling Road will continue to operate at Level of Service E, with or without the proposed amendment.

*Recreation and Open Space:* The projected population increase of 250 persons associated with 100 dwelling units on the site would require 2.5 acres of additional

recreation/open space. The Town has adequate acreage of parklands to cover additional population increases in the future.

*School Sites and Pupil Generation:* The proposed designation and development of 100 three-bedroom town house units will generate 27.5 students. This includes 13.9 elementary students, 6.2 middle school students, and 7.4 high school students.

The following schools serve the area: Silver Ridge Elementary with a design capacity of 840 students and a 02/03 projected enrollment of 1054 (125% of capacity); Indian Ridge Middle School with a design capacity of 1745 students and a 02/03 projected enrollment of 2105 (121% of capacity); and Western High School with a design capacity of 1923 students and a 02/03 projected capacity of 2590 (135% of capacity).

Broward County has an Adopted Level of Service Standard B, which considers a middle school to be critically overcrowded when enrollment is 140% of design capacity or exceeds 2000 students. Indian Ridge Middle School is overcrowded by the 2000 student limit.

### **Applicable Goals, Objectives & Policies:**

#### **Future Land Use Element of the Town of Davie Comprehensive Plan**

**Objective 4:** Pursuant to the adopted Davie Future Land Use Plan Map, land uses, intensities and densities shall be distributed and concentrated in such a manner so as to promote an economically sound community and discourage urban sprawl.

**Policy 4-1:** A request for amendment to the Davie Future Land Use Plan Map resulting in a change in density or intensity shall be evaluated based on the availability of existing essential facilities and services. Priority shall be given to requests requiring no increase in capital expenditures, and for proposals not requiring unprogramed expansion of facilities or services.

**Policy 4-3:** Infill shall be encouraged as a means of directing growth to areas already containing essential infrastructure improvements, such as potable water and sanitary sewer services. Priority shall be given to areas suitable for infill development in the extension of infrastructure.

**Policy 6-1:** Residential development of moderate to high density should be located in close proximity to arterial roadways, available mass transit, and other community amenities, and should generally be located east of Pine Island Road, unless located adjacent to the SR 84/I-595 corridor, or I-75 interchanges.

**Objective 1:** The Town shall continue to maintain and implement land development regulations, including subdivision regulations, that will insure that development may be permitted only after it has been demonstrated that soils, topography, natural resources, historic resources and the availability of essential facilities and services have been accommodated.



**Objective 2:** The Town shall continue to maintain and implement land development regulations that shall require the identification and protection of natural and historic resources, including historically significant structures, unique natural areas, and wetlands.

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### Staff Analysis

The proposed amendment requests a change in land use designation from Commercial to Residential 10 du/ac for one (1) vacant parcel of land totaling approximately 9.99 acres at the northwest corner of Pine Island Road and Orange Drive. The amendment will utilize 100 of the 135 reserve units available in Flex Zone 99. The proposed change from Commercial to Residential 10 du/ac is compatible with the surrounding development patterns due to the site's proximity to multi-family residential development to the north and northeast. Adjacent land use plan designations include Commercial to the south, Residential 5 du/ac to the east, and Residential 10 du/ac to the north. There is also a Medium Residential 16 du/ac parcel just northeast of the subject site. The 3.5 acre open space area west of the subject site will act as a buffer to the development to the west. The area to the west is designated Residential 1 du/ac; however, it is separated by a CBWCD Canal and dense vegetation.

Regarding school impacts associated with the proposed amendment, staff notes the addition of 27.5 new students based on the following generation rates:

School Level	Generation Rate	Number of Units	Students
Elementary	0.139	100	13.9
Middle	0.062	100	6.2
High	0.074	100	7.4
<b>Total</b>	<b>0.275</b>	<b>100</b>	<b>27.5</b>

Public elementary and secondary education facilities serving the area have the following design capacities and Year 02/03 projected enrollment:

School	Design Capacity	02/03 Projected Enrollment
Silver Ridge Elementary	840	1054 (125% of capacity)
Indian Ridge Middle School	1745	2105 (121% of capacity)
Western High School	1923	2590 (135% of capacity)

Though over capacity, Silver Ridge, Indian Ridge and Western are not considered critically overcrowded by capacity standards. Broward County has an adopted Level of Service Standard B, which considers a middle school to be critically overcrowded when enrollment is 140 percent of design capacity or exceeds 2000 students. Indian Ridge Middle School is overcrowded only by the 2000 student limit.

Two new schools opened in the South Central Area on August 26, 2002; Cypress Bay High School in Weston and Manatee Bay Elementary School in Weston. Western High School forecasts a decrease in enrollment in the next four years, dropping from 2590 to

2145 in 03/04 but rising again to 2302 by 06/07. Additional classrooms are planned for Plantation High School and the Town and the School Board have taken initial steps towards building a new middle school at Imagination Farms, which will provide relief for Indian Ridge Middle School.

A new charter school is planned for the east side of Pine Island Road directly east of the subject site. A site plan for the Davie Charter School was approved by Town Council on January 2, 2003. The proposed 27,432 square foot two-story school building will accommodate approximately 450 students between kindergarten and eighth grade. The Davie Charter School may provide relief for both Silver Ridge Elementary and Indian Ridge Middle School.

Regarding traffic impacts generated by the proposed amendment, staff notes that the number of trips on the area's roads will be greatly reduced, however, three (3) roadway links have been identified as over capacity roadways. The development of the amendment site as commercial would generate 628 PM peak hour trips while the development of 100 townhouses will produce approximately 56 PM peak hour trips. This represents a reduction in PM peak hour trip generation of 575 trips, or 90 percent fewer PM peak hour trips than the existing commercial site would generate.

Nob Hill Road north of Orange Drive, University Drive south of Griffin Road and University Drive north of Stirling Road have been identified as exceeding the adopted level of service capacity volume based on the 2015 traffic forecasts in the Town of Davie Comprehensive Plan. Each segment is expected to operate at Level of Service E by 2015. Analysis of the 2015 traffic forecasts plus the projected traffic associated with the amendment indicates that the three (3) roadway links identified above will continue to operate at an unacceptable level of service, with or without the proposed amendment.

For Future Land Use Map changes of ten acres or less, a land use plan amendment must be approved by Town Council and forwarded to the Department of Community Affairs (DCA) for determination that the amendment is in compliance with Chapter 163, Florida Statutes. Small scale land use plan amendments require one public hearing on the local level for adoption.

Staff finds that the proposed land use is appropriate at this location.

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### **Findings of Fact**

The proposed amendment addresses the following criteria as identified in the Town of Davie Land Development Code Section 12-304:

1. The proposed change is not contrary to the adopted comprehensive plan, as amended, or any element or portion thereof.

*The proposed change is consistent with Objective 1: to ensure that development is permitted only after it has been demonstrated that soils, topography, natural resources, historic resources and the availability of essential services have been accommodated; Objective 2: to*

*ensure the protection of natural resources; Objective 4: to promote the development of an economically sound community and discourage urban sprawl; and Policy 6-1: to encourage moderate to high density residential development near arterial roadways, available mass transit and other community amenities. According to the Comprehensive Plan Future Land Use Element: Analysis of Existing Conditions for Planning Area 5, "Appropriate measures should be taken upon development of (the amendment site) to protect the existing residential developments."*

2. The proposed change would not create an isolated district unrelated and incompatible with adjacent or nearby districts.

*The proposed change from Commercial to Residential 10 du/ac is compatible with the surrounding development patterns due to the site's proximity to commercial and multi-family development and proximity to Pine Island and Tree Tops Parks. Adjacent land use plan designations include Commercial to the south, Residential 5 du/ac to the east, and Residential 10 du/ac to the north. There is also a Medium Residential 16 du/ac parcel just northeast of the subject site. The area to the west is designated Residential 1 du/ac; however it is separated by a CBWCD Canal and dense vegetation. The 3.5 acre open space area west of the subject site will act as a buffer to the development to the west.*

3. The existing district boundaries are not illogically drawn in relation to existing conditions on the property proposed for change.

*The existing parcel is vacant.*

4. The proposed change will not adversely affect living conditions in the neighborhood or in the Town of Davie.

*The existing residential uses located to the north of the property would be buffered from the proposed development with the existing lake north of the site. Future development to the west would be buffered from the site with the 3.5 acre conservation area west of the site. In addition, the Town of Davie Land Development Code and Comprehensive Plan require the design of new developments to be compatible with adjacent properties.*

5. The proposed change will not create or excessively increase automobile and vehicular traffic congestion or otherwise affect public safety.

*The proposed project is projected to result in a decrease of approximately 575 PM peak hour trips.*

6. The proposed change is not expected to adversely affect other property values.

*Development of the subject site will ultimately increase property values.*

7. The proposed change will not be a deterrent to the improvement or development of other property consistent with the comprehensive plan as identified on the Future Land Use Map.

*The property to the north is currently developed, and has a land use plan designation of Residential 10 du/ac. The property to the east is developed as a gas station. The property to the west is vacant with a land use plan designation of Residential 1 du/ac. The property to the south (south of Orange Drive and the C-11 canal) is designated commercial. The designation of Residential 10 du/ac land use for the subject site will not inhibit the development potential of these properties.*

8. The proposed change will not constitute a grant of special privilege to an individual owner as contrasted with the welfare of the general public.

*Any property owner that meets the Land Development Code's criteria may request a change in land use. The proposed development of the site with town homes is compatible with surrounding multi-family developments. The site is surrounded by residential land use to the north, east and west. The proposed development will attract permanent owner-residents, families and working professionals which is in the public interest and general welfare of the Town of Davie.*

9. There are no reasons that the property cannot be used in accord with existing regulations.

*Although there are no physical reasons why the property cannot be used in accordance with existing regulations, the commercial development currently permitted does not further the intent of the policies and objectives of the Comprehensive Plan regarding the encouragement of moderate to high density residential developments along Pine Island Road.*

10. The proposed land use designation is not the most appropriate designation to enhance the Town's tax base, given the site location relative to the pattern of land use designations established on the Future Land Use Plan Map, appropriate land use planning practice, and comprehensive plan policies directing the location and distribution of land uses.

*The development of the site as commercial would be the most appropriate designation to enhance the Town's tax base but the proposed Residential 10 du/ac land use designation is the most appropriate designation given the site's proximity to the existing high density residential developments located to the north and east. In addition the Comprehensive Plan identifies the need to protect adjacent residential developments when this site is developed.*

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### **Staff Recommendation**

#### **Recommendation:**

Based upon the above and the finding of facts in the positive, staff recommends approval of application Number LA 02-9.

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### **Local Planning Agency**

**LOCAL PLANNING BOARD RECOMMENDATIONS:** On January 22, 2003, Ms. Lee made a motion, seconded by Mr. Waitkus, to approve subject to the agreement and the

documentation that had been provided tonight [1/22/03] and read into the record as well as the stipulations indicated by the council for the developer. (Motion carried 4-1 with Ms. Turin being opposed)

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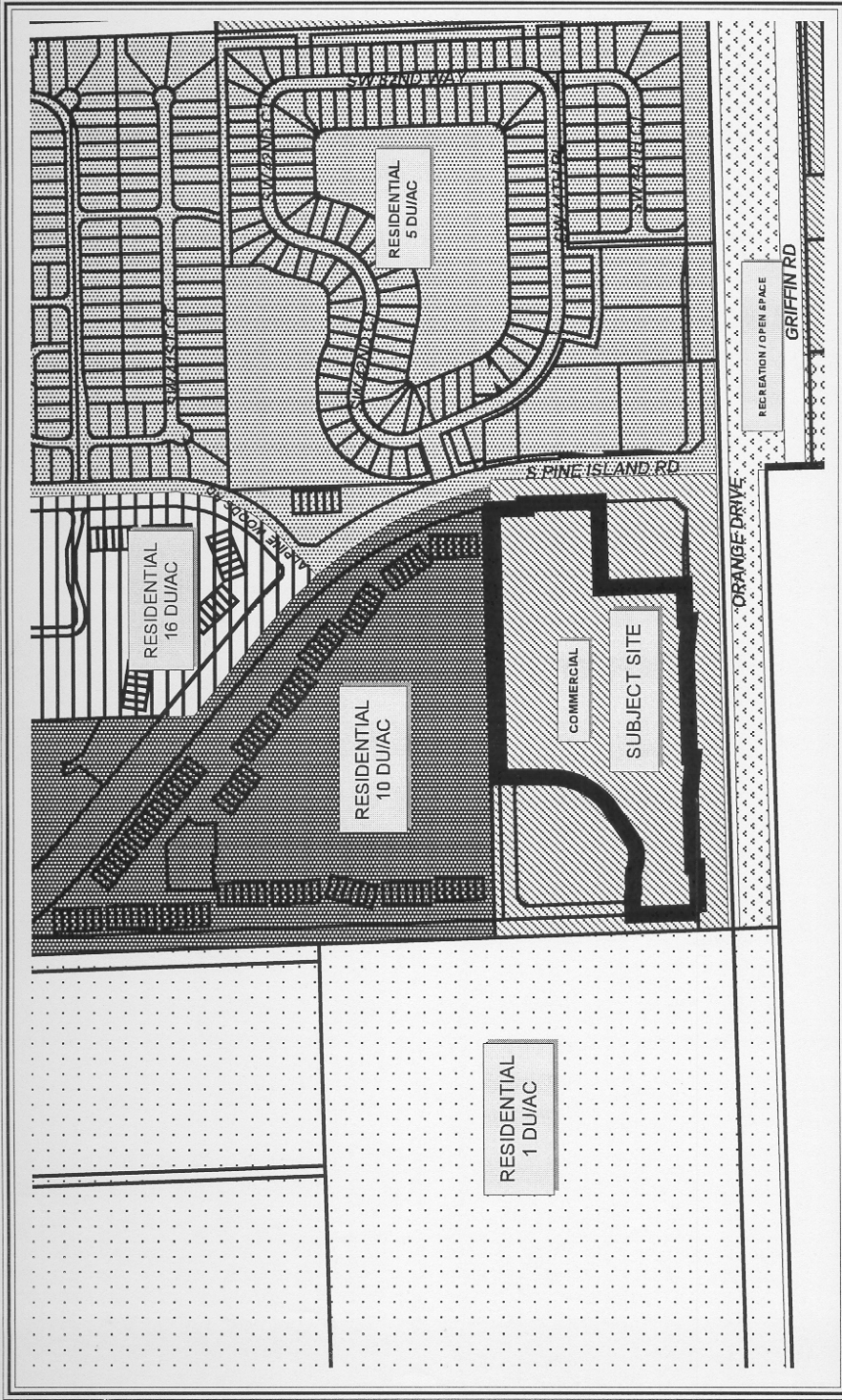
Prepared by: \_\_\_\_\_

Reviewed by: \_\_\_\_\_

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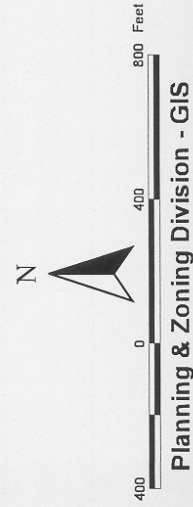
### **Exhibits**

1. Existing Future Land Use Map
2. Proposed Future Land Use Map
3. Subject Site, Zoning and Aerial Map
4. Land Use Plan Amendment Application

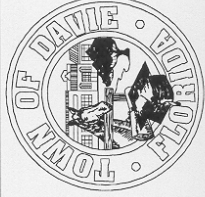
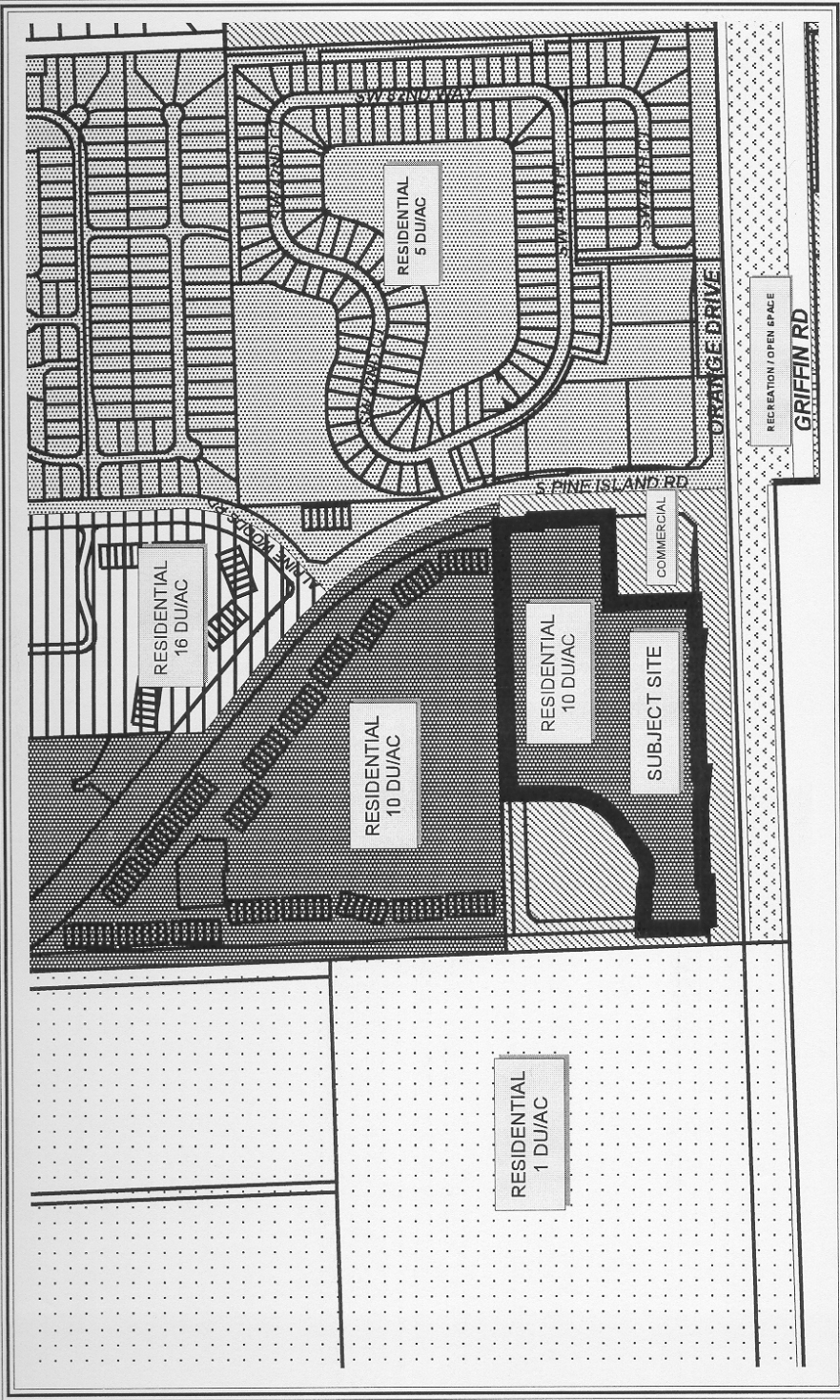


# LAND USE PLAN AMENDMENT LA 02-9 Existing Future Land Use Map

Prepared By: ID  
Date Prepared: 11/19/02

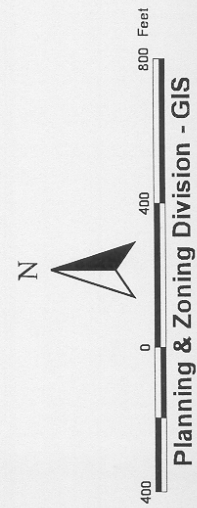


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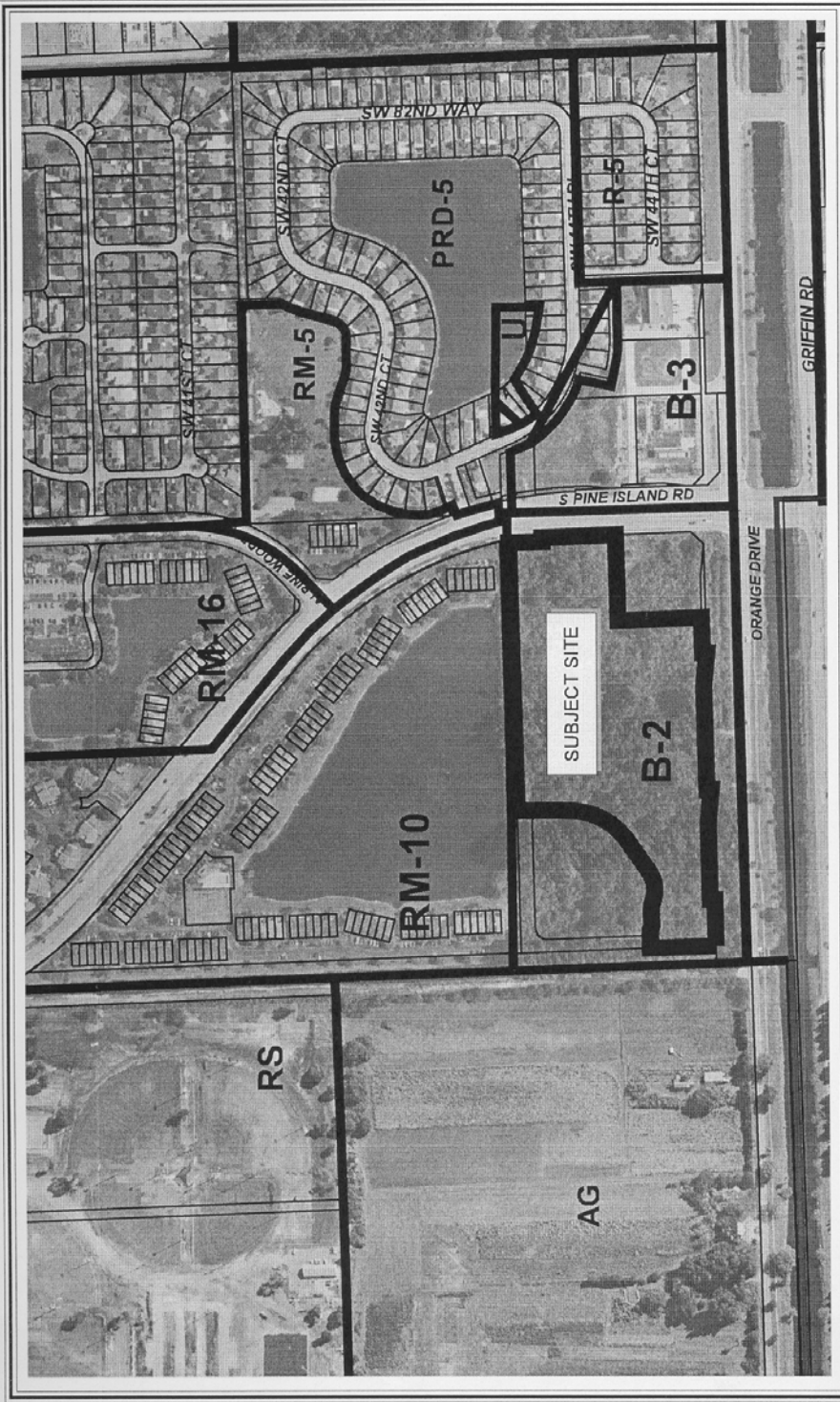


# LAND USE PLAN AMENDMENT LA 02-9 Proposed Future Land Use Map

Prepared By: ID  
Date Prepared: 11/19/02







Date Flown:  
12/31/01



400 0 400 800 Feet

Planning & Zoning Division - GLS



# LAND USE PLAN AMENDMENT LA 02-9 Zoning and Aerial Map

Prepared by: ID  
Date Prepared: 11/19/02



**TOWN OF DAVIE  
LAND USE PLAN AMENDMENT APPLICATION**



**TOWN OF DAVIE USE ONLY**

Petition No. Calvin, Giordano & Associates

Case No. LA 02-9 (Town)

Approved as to Form AR

Date Filed: 9/4/02

Fee Paid\*: 3,599.80

Receipt No. 3067

(\*SEE FEE SCHEDULE)

(Information must be typed and notarized)  
Make Checks payable to Town of Davie

\_\_\_\_\_ TOWN OF DAVIE LAND USE PLAN AMENDMENT

\_\_\_\_\_ BROWARD COUNTY & TOWN LAND USE PLAN AMENDMENT

**PUBLIC HEARINGS**

(To be filled in by Town of Davie)

LOCAL PLANNING AGENCY 12/11/02 PUBLICATION 12/3/02

RECOMMENDATION \_\_\_\_\_

TOWN COUNCIL \_\_\_\_\_ ACTION \_\_\_\_\_ PUBLICATION \_\_\_\_\_

TOWN COUNCIL \_\_\_\_\_ ACTION \_\_\_\_\_ PUBLICATION \_\_\_\_\_

BROWARD COUNTY PLANNING COUNCIL \_\_\_\_\_ ACTION \_\_\_\_\_

BROWARD COUNTY PLANNING COUNCIL \_\_\_\_\_ ACTION \_\_\_\_\_

BROWARD COUNTY COMMISSION \_\_\_\_\_ ACTION \_\_\_\_\_

BROWARD COUNTY COMMISSION \_\_\_\_\_ ACTION \_\_\_\_\_

Notices Sent: \_\_\_\_\_ Replies: \_\_\_\_\_ For / \_\_\_\_\_ Against

APPLICATION

SEP 4 2002

I. LAND USE PLAN DESIGNATIONS:

	Existing	Requested
Town of Davie Plan	<u>C</u>	<u>LM10 via flex (Reserve)</u>
Broward County Plan	<u>C</u>	<u>C</u>

II. APPLICANT:

Name Calvin Giordano + Associates  
Address 1800 Eller Drive, Suite 600  
Fort Lauderdale, FL 33316  
Telephone 954-921-7781  
Relationship to Property Consultant for developer

PROPERTY Name BG Pine Island Corp + 77 Acres Trust  
OWNER(S): Address 1000 S. Federal Highway  
Bonnton Beach, FL 33435  
Telephone 561-742-4910

Does the applicant and/or representative own any of the property that is the subject of this application? YES (NO)

If yes, describe interest \_\_\_\_\_  
\_\_\_\_\_

a) Gross Acreage 9.99 Net Acreage 9.99

b) Delineate on survey and attach to application

BROWARD COUNTY TAX FOLIO NUMBER(S): 504188320016

III. LEGAL DESCRIPTION: (Sealed survey indicating gross and net acreage must be submitted with application)

\_\_\_\_\_  
\_\_\_\_\_

III. LEGAL DESCRIPTION con't:

SEP 4 2002

PROPERTY LOCATION: Generally located on

NORTH side of Orange Drive

EAST side of \_\_\_\_\_

SOUTH side of \_\_\_\_\_

WEST side of Pine Island Road

ADDRESS OF AMENDMENT SITE: NW Corner of Orange + Pine Island

IV. APPLICANT'S REASON(S) FOR AMENDMENT REQUEST:

(Use additional sheets as necessary)

To develop 100 Townhomes  
see attached Flex Rezoning Analysis  
for rationale, compatibility and support.

V. IMPACT STATEMENT: Applications for proposed Land Use Plan Amendments must include twenty (20) copies of a comparative land use impact statement. The impact statement shall address the following items in the format of the attached checklist, (see back of application package)

- (1) Potable Water
- (2) Wastewater treatment and disposal
- (3) Solid Waste disposal
- (4) Drainage
- (5) Regional transportation network
- (6) Local streets and roads (safety and adequacy of access between site and regional)
- (7) Fire Protection
- (8) Police Protection
- (9) School sites and pupil generation
- (10) Parks and Recreation

PETITION #: \_\_\_\_\_

SEP 4 2002

B.G. PINE ISLAND CORP.

OWNER'S NAME

*[Signature]*  
Larry D. Glassman, President  
OWNER'S SIGNATURE

1000 South Federal Highway  
ADDRESS

Boynton Beach, FL 33435

CITY, STATE, ZIP

OWNER'S NAME

OWNER'S SIGNATURE

ADDRESS

CITY, STATE, ZIP

PHONE

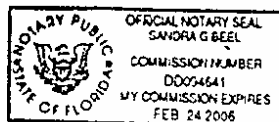
The foregoing instrument was acknowledged before me  
this 29 day of August 2002  
Larry D. Glassman by XXXX  
known to me or who has produced \_\_\_\_\_  
known to me or who has produced \_\_\_\_\_

as identification and who did take an oath.

NOTARY PUBLIC

Sgt. *[Signature]*  
Pvt. Sandra G. Beel

My Commission expires:



Shelley Eichner, V.P. Calvin Giordano & Assoc.  
APPLICANT'S NAME

*[Signature]*  
APPLICANT'S SIGNATURE

1800 Eller Drive, Suite 600  
ADDRESS

Ft. Lauderdale, FL 33316  
CITY, STATE, ZIP

OWNER'S NAME (Optional)

OWNER'S SIGNATURE

ADDRESS

CITY, STATE, ZIP

PHONE

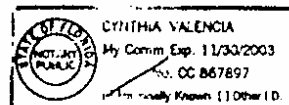
The foregoing instrument was acknowledged before me  
this 30th day of August 2002  
Shelley Eichner by XXXX  
known to me or who has produced \_\_\_\_\_  
known to me or who has produced \_\_\_\_\_

as identification and who did take an oath.

NOTARY PUBLIC

Sgt. *[Signature]*  
Pvt. Cynthia Valencia

My Commission expires: 11/30/2003



SEP 4 2002

PETITION #: \_\_\_\_\_

Larry D. Glassman and Steven M. Glassman,  
Co-Trustees, 77 ACRES TRUST

OWNER'S NAME

Larry D. Glassman Co-Trustee

OWNER'S SIGNATURE

Steven M. Glassman, Co-Trustee

1000 South Federal Highway  
ADDRESS

Boynton Beach, FL 33435  
CITY, STATE, ZIP

OWNER'S NAME

OWNER'S SIGNATURE

ADDRESS

CITY, STATE, ZIP

PHONE

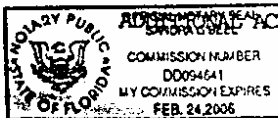
The foregoing instrument was acknowledged before me  
this 29<sup>th</sup> day of August, 2002, by  
Larry D. Glassman, Co-Trustee  
who is personally  
known to me or who has produced \_\_\_\_\_

as identification and who did take an oath.

NOTARY PUBLIC

Sign: Sandra G. Beel  
Print: Sandra G. Beel

My Commission expires: \_\_\_\_\_



ACKNOWLEDGMENT ATTACHED

Shelley Eichner, V.P. Calvin Giordano & Assoc.  
APPLICANT'S NAME

APPLICANT'S SIGNATURE

Shelley Eichner  
1800 Eller Drive, Suite 600  
ADDRESS

Ft. Lauderdale, FL 33316  
CITY, STATE, ZIP

OWNER'S NAME (Optional)

OWNER'S SIGNATURE

ADDRESS

CITY, STATE, ZIP

PHONE

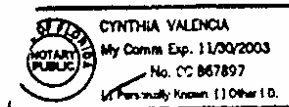
The foregoing instrument was acknowledged before me  
this 30<sup>th</sup> day of August, 2002, by  
Shelley Eichner who is personally  
known to me or who has produced \_\_\_\_\_

as identification and who did take an oath.

NOTARY PUBLIC

Sign: Cynthia Valencia  
Print: Cynthia Valencia

My Commission expires: 11/30/2003



August 28, 2002

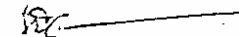
Town of Davie  
Planning Division  
6591 Orange Drive  
Davie, Florida 33314


Re: Pine Island Townhomes

To whom it may concern:


This letter shall serve as confirmation that B.G. Pine Island Corp., a Florida corporation, and Larry D. Glassman and Steven M. Glassman, as Trustees of the 77 Acres Trust (together, the "Seller"), in accordance with the terms of that Agreement for the Purchase and Sale of Real Property between Seller and The Westbrooke Partnership, a Florida general partnership, dated August 16, 2002, hereby authorize Calvin Giordano & Associates, Inc. to submit, on Seller's behalf, the relevant development applications related to the above-referenced project to be located on the west side of Pine Island Road and the north side Orange Drive, Broward County, Florida.

Sincerely,

  
Larry D. Glassman,  
as Co-Trustee of the  
77 Acres Trust

  
Steven M. Glassman,  
as Co-Trustee of the  
77 Acres Trust

B.G. Pine Island Corp.,  
a Florida corporation

By:   
Larry D. Glassman,  
President

507 4 000

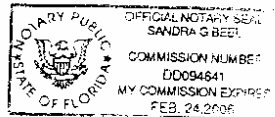
STATE OF FLORIDA       )  
  )ss:  
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me this 29 day of August, 2002,  
by Steven M. Glassman, Co-Trustee, who is personally known to me or who has produced  
\_\_\_\_\_ as identification.

*Sandra G. Beer*  
Signature of Acknowledger  
Title: Notary Public, State of Florida at large  
Name printed, typed or stamped:

Commission No.:

My Commission expires:



# **PINE ISLAND COMMERCIAL FLEX REZONING APPLICATION (APPLICATION OF RESERVE UNITS)**

(NW Corner of Pine Island Road and Orange Drive)

PREPARED BY



**Calvin, Giordano & Associates, Inc.**

**Engineers Surveyors Planners**

1800 Eller Drive, Suite 600

Fort Lauderdale, Florida 33316

Phone: 954.921.7781 Fax: 954.921.8807

Contact: Shelley Eichner, Executive Vice President

Project No. 02-2467.1

Submitted: December 6, 2002

Revised November 20, 2002



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# Exhibits

- A Sketch and Description
- B Site Location Map
- C Existing and Proposed Land Use Designation Maps
- D Existing and Proposed Zoning Designation Maps
- E Conceptual Site Plan
- F Utility Verification Letter
- G Drainage Verification Letter
- H Solid Waste Verification Letter
- I Mass Transit Verification Letter

**PINE ISLAND COMMERCIAL  
APPLICATION FOR A FLEX REZONING  
(APPLICATION OF RESERVE UNITS)**

**1. LETTER OF TRANSMITTAL**

A) *DATE LOCAL GOVERNING BODY HELD TRANSMITTAL PUBLIC HEARING.*

N/A

B) *WHETHER THE AMENDMENT IS WITHIN AN AREA OF CRITICAL STATE CONCERN OR RESOURCE PLANNING AND MANAGEMENT PROGRAM*

The amendment site is not within an Area of Critical State Concern or Resource Planning and Management Program.

C) *WHETHER THE AMENDMENT IS AN EXEMPTION OF THE TWICE PER CALENDAR YEAR LIMITATION ON THE ADOPTION OF PLAN AMENDMENTS.*

N/A

D) *PROPOSED MONTH OF ADOPTION*

To be determined by the Town of Davie.

E) *WHETHER THE PROPOSED AMENDMENT IS TO BE ADOPTED UNDER A JOINT PLANNING AGREEMENT*

The amendment will not be adopted under a joint planning agreement.

F) *NAME, TITLE, ADDRESS, AND TELEPHONE NUMBER FOR LOCAL GOVERNMENT CONTACT.*

Ms. Deborah Ross, AICP  
Planning & Zoning Department  
Town of Davie  
6591 SW 45<sup>th</sup> Street  
Davie, FL 33314-3399  
(954) 797-1103, fax (954) 797-1086

## **2. LOCAL GOVERNMENT INFORMATION**

A) *LOCAL AMENDMENT OR CASE NUMBER*

To be determined by the Town of Davie.

B) *RECOMMENDATION OF THE LOCAL UNIT OF GOVERNMENT AND MINUTES FROM THE LOCAL PLANNING AGENCY AND LOCAL GOVERNMENT PUBLIC HEARINGS ON THE AMENDMENT.*

The Town Council will hold two public hearings.

C) *LOCAL STAFF REPORT ON THE AMENDMENT AS PROVIDED TO THE LOCAL GOVERNMENT*

To be supplied by the Town of Davie.

D) *DESCRIPTION OF PUBLIC NOTIFICATION PROCEDURES FOLLOWED BY THE AMENDMENT*

The proposed amendment was advertised in accordance with Chapter 163, Florida Statutes. At the time of adoption, the Town Council will have held three public hearings; one by the Local Planning Agency and two by the Town Council (transmittal and adoption).

## **3. APPLICANT INFORMATION**

A) *NAME, ADDRESS, AND TELEPHONE NUMBER OF THE APPLICANT*

Westbrooke Communities, Inc.  
9350 Sunset Drive  
Miami, Fl 33134  
305-595-3281

B) *NAME, ADDRESS, AND TELEPHONE NUMBER OF THE AGENT*

Calvin, Giordano & Associates, Inc.  
1800 Eller Drive, Suite 600  
Fort Lauderdale, Florida 33316  
Contact: Shelley Eichner  
Telephone: (954) 921-7781

C) *NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PROPERTY OWNER*

BG Pine Island Corp & 77 Acres Trust  
1000 South Federal Highway  
Boynton Beach, FL 33435  
C/O Charles D. Brecker, Esquire  
Katz, Barron, et al  
100 NE 3<sup>rd</sup> Avenue, 7<sup>th</sup> Floor  
Ft. Lauderdale, FL 33301  
954-522-3636

D) *FILING FEE*

City: \$2720  
County: N/A

E) *APPLICANT'S RATIONALE FOR THE AMENDMENT:*

The existing land use plan designation for the amendment site is Commercial and the existing zoning designation is B-2.

The amendment site is 9.9999 gross acres and 9.9999 net acres. Under the LM land use designation the allowable density is 100 units. The site is currently vacant and vested for approximately 100,000 square feet of commercial. Surrounded by residential development, this designation for a large parcel is not appropriate. A small commercial out-parcel will be retained by the owner/seller. The small commercial parcel is more compatible next to residential and would be appropriate for the corner, similar to the NE corner of the same intersection.

At one time the area was considered suburban, if not semi-rural in character. Griffin Road was a local 2-lane road, as was Pine Island Road, and Interstate 75 did not exist. Reflecting Broward County's urbanization as a whole, the surrounding area has been developed increasingly in an urban or semi-urban manner. Many new roads have been constructed or widened. The development of Griffin Road into a major 6 lane artery, the construction of Interstates 75, 95 and 595, the expansion of the Fort Lauderdale-Hollywood International Airport, the implementation of mass transit and the ongoing development and redevelopment of the area's nearby residential and commercial parcels makes a low moderate designation appropriate.

The proposed development of the site is 100 townhouses at a density of 10 units per gross acre. Development of townhouses requires rezoning to a Town of Davie RM district. The RM districts are intended for moderate densities (medium land use plan designation allows up to 16 units per gross acre). By rezoning utilizing the flexibility rules, the applicant proposes to utilize 100 reserve units. The applicant proposes to use the Planned Townhouse standards in the RM-10 Zoning.

"Reserve Units" mean additional permitted units equal to 2% of the total number of units permitted within a flexibility zone by the Broward County Land Use Plan.

The site is located within Flexibility Zone 99. Currently, according to the Broward County Planning Council, there are 135 reserve units available in Flex Zone 99. 100 Reserve units will be applied to the property. The Broward County Land Use Plan will not be amended. The Town of Davie Land Use Plan will be re-certified by the Broward County Planning Council after the “flex rezoning” is adopted.

The rezoning to multi-family is compatible with surrounding development patterns due to the site’s proximity to commercial and multi-family development and proximity to Pine Island and Tree Tops Parks. Adjacent plan designations include commercial on 2 sides, and LM 10 on the north. There is also a Medium 16 parcel just northeast of the subject site. The area to the west is designated Estate (zoned AG, Agricultural District), however it is separated by a CBWCD Canal and dense vegetation. The subject site’s open space area will act as a buffer to the Estate designation.

The proposed development will attract permanent owner-residents, families and working professionals. The proposed design also is setting aside a large 3 acres consolidated open space, in addition to meeting the required landscaping requirements and buffers and providing on-site recreation amenities. The applicant is working with the neighboring townhouse development to provide additional buffers and plantings. Multi-family properties in the area carry a land use density of Low Medium 10 and Medium 16. Nearby multi-family town house developments include Reflections, Alpine Woods and Isla Merita.

#### **4. AMENDMENT SITE DESCRIPTION**

*A) DESCRIPTION OF THE SIZE AND BOUNDARIES OF THE AMENDMENT:*

The 9.9999 acre site is generally located at the northwest corner of Orange Drive and Pine Island Road in the Town of Davie. The site is a portion of the Pine Island Commercial plat (PB 167, Page 50), which entire plat is vested for 170,000 square feet of commercial.

*B) LEGAL DESCRIPTION OF THE AREA PROPOSED TO BE AMENDED:*

See Exhibit A for sketch and legal description.

*C) MAP OF PROPOSED LAND USE, LOCATION, AND BOUNDARIES (1:300):*

Please see Exhibit B.

#### **5. EXISTING AND PROPOSED USES**

*A) CURRENT AND PROPOSED LOCAL AND COUNTY LAND USE DESIGNATIONS FOR THE AMENDMENT SITE:*

See Exhibit C.

Town		Broward County
Existing:	Commercial	Commercial
Proposed:	Residential 10 DU/AC	Commercial

*B) CURRENT LAND USE DESIGNATIONS FOR SURROUNDING PROPERTIES*

See Exhibit C.

Direction	Town	Broward County
North:	Residential 10 DU/AC	LM-10
South:	Commercial	Commercial
East:	Commercial	Commercial
West:	Residential 1 DU/AC	E, Residential 1 DU/AC

*C) CURRENT AND PROPOSED ZONING FOR THE AMENDMENT SITE AND ADJACENT AREAS. INDICATE IF THE FLEXIBILITY PROVISIONS OF THE BROWARD COUNTY LAND USE PLAN HAVE BEEN USED TO REZONE ADJACENT AREAS.*

See Exhibit D.

Adjacent Areas		
Direction	Current	Proposed
North:	RM-10	No change
South:	B-2, B-1 (Cooper City)	No change
East:	B-2, B-3*	No change
West:	AG	No change

\*Across Pine Island Road, flexibility provisions were used to rezone a parcel to B-3 in an L-5 Land Use designation.

Amendment Site	
Current	Proposed
B-2	RM-10

*D) EXISTING USE OF THE AMENDMENT SITE AND THE ADJACENT AREAS:*

Adjacent Areas	
North:	Multi-family Townhouses
South:	Orange Drive, C-11 Canal, Commercial Plaza (Cooper City)
East:	Vacant Commercial Land; Gas Station across Pine Island Road
West:	Agriculture with one unit (former grove)

Amendment Site
Vacant Land

E) PROPOSED USE OF THE AMENDMENT SITE INCLUDING SQUARE FOOTAGE AND/OR DWELLING UNIT COUNT PROPOSED FOR EACH PARCEL:

100 Townhouses.

F) PROPOSED SITE PLANS AND ANY OTHER AVAILABLE SPECIAL STUDIES OR INFORMATION:

Please see Exhibit E for a preliminary conceptual plan.

G) MAXIMUM ALLOWABLE DEVELOPMENT UNDER THE EXISTING SITE DESIGNATION:

Based on the generally accepted planning standard of 10,000 gross floor area per acre, the maximum allowable development would be approximately 100,000 square feet of commercial.

H) MAXIMUM ALLOWABLE DEVELOPMENT UNDER THE PROPOSED SITE DESIGNATION:

100 dwelling units.

**6. ANALYSIS OF PUBLIC FACILITIES AND SERVICES**

A) SANITARY SEWER ANALYSIS:

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

According to the Town of Davie Comprehensive Plan, multifamily townhomes generate a demand of 275-325 gallons per day (GPD). Current level of service is 250 GPD.

2. *Identify the facilities serving the service area in which the amendment is located including the plant capacity, current demand on plant capacity and committed plant capacity.*

Sanitary sewer service is provided by the City of Sunrise. The plants combined capacity is 30 Million Gallons per Day (30 MGD), the current combined (July 2001-June 2002) demand is 21.43 MGD and the committed demand is approximately 0.51 MGD.

3. *Identify the additional demand resulting from this amendment - provide calculations including assumed demand per square foot or dwelling unit.*



<b>Sanitary Sewer Demand</b>	
Existing Designation 100,000 sq. ft. commercial x .1	10,000 GPD
Proposed Designation (100 town homes x 300 GPD)	25,658 GPD
<b>Increased Demand</b>	<b>15,658 GPD</b>

4. *Identify the projected plant capacity and demand for the short and long range planning horizons as identified within the adopted comprehensive plan - provide demand projections and information regarding planned capacity expansions including year, identified funding sources and other relevant information.*

<b>Sunrise Plants</b>	<b>2000</b>	<b>2005</b>
Projected ADF	19.3 MGD	22.7 MGD
Design Capacity	25.0 MGD	30.0 MGD

5. *Identify the existing and planned service to site - provide information regarding existing and proposed trunk lines and lateral hookups to the amendment site.*

The site is not currently served. The City of Sunrise has the capacity and will provide sanitary sewer services for this site. The Sanitary Sewer Atlas shows a force main along Pine Island Road. The proposed development may include construction of a lift station in order to connect to the existing off site facilities. Davie has water and sewer lines on Orange Drive but by agreement cannot serve the site.

6. *Letter from utility verifying the above information.*

See Exhibit F.

**B) POTABLE WATER ANALYSIS:**

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

According to the Town of Davie Comprehensive Plan, the flow rate for a multifamily town home is 275-325 GPD. The current level of service is 215 GPD.

2. *Identify the facilities serving the service area in which the amendment is located including the plant capacity, current demand and committed demand.*

The City of Sunrise supplies the area with treated potable water. Currently the City of Sunrise is meeting the area's average daily demand.

The treatment plant has a design capacity of 43 MGD and a current peak flow of 30.803 MGD. This figure includes existing commitments.

3. *Identify the wellfield serving the service area in which the amendment is located including the permitted capacity, remaining capacity and expiration date of the permit.*

This area is served by the City of Sunrise system, located approximately 2 miles west of Pine Island Road.

4. *Identify the additional potable water demand resulting from this amendment - provide calculations including assumed demand per square foot or dwelling unit.*

<b>Potable Water Demand</b>	
Existing Designation 100,000 sq. ft. commercial x .1	10,000 GPD
Proposed Designation (100 town house units x 300 GPD)	25,658 GPD
<b>Increased Demand</b>	<b>15,658 GPD</b>

5. *Identify the projected or planned capacity for the short and long range planning horizons as included within the adopted comprehensive plan - provide demand projections and information regarding planned plant capacity expansions including year, funding and other relevant information. If additional wellfields are planned, provide status including the status of any permit applications.*

<b>Sunrise Plants</b>	<b>2000</b>	<b>2005</b>
Current Demand	25.245 MGD	24.27 MGD
Design Capacity	43.000 MGD	36.30 MGD

6. *Identify the existing and planned service to site - provide information regarding existing and proposed trunk lines and water main hookups to the amendment site.*

The site is not currently served. The City of Sunrise has the capacity and will provide potable water service for this site. The Potable Water Atlas shows a main along Pine Island Road. Davie has water and sewer lines on Orange Drive but by agreement cannot serve the site. The proposed development will utilize the existing offsite facilities.

7. *Letter from utility verifying the above information.*

See Exhibit F.

C) *DRAINAGE ANALYSIS:*

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

Per the Central Broward Water Control District (CBWCD) criteria all habitable structures shall be set at or above the higher of:

Federal Emergency Management Agency (FEMA) Flood Studies  
Broward County 100-Year Flood Studies  
Eighteen inches (18") above the nearest crown of road  
Stage storage calculations for the 100 year 3 day rainfall with zero discharge

Current level of service of the area's drainage system is good.

2. *Identify the facilities serving the service area in which the amendment is located.*

CBWCD Canal N-12 lies adjacent to the west property line of the amendment site. This canal discharges to the SFWMD C-11 Canal south of Orange Drive.

3. *Identify any planned drainage improvements including year, funding sources and other relevant information.*

The amendment site will be required to install drainage facilities to retain the first inch of runoff, such as an onsite retention/lake and a gravity system, and may then discharge into Canal N-12 and the C-11 Canal.

4. *Indicate if a Basin Surface Water Management Plan has been approved by the South Florida Water Management District for the amendment area. Also, indicate if the Basin Surface Water Management Plan is currently undergoing review for modification.*

The SFWMD has approved the management plan for CBWCD.

5. *If the area in which the amendment is located does not meet the adopted level of service and there are no improvements planned to address the deficiencies, provide an engineering analysis which demonstrates how the site will be drained and the impact on the surrounding properties. The information should include the wet season water level for the amendment site, design storm, natural and proposed land elevation, one hundred year flood elevation, acreage for proposed water management retention area, elevations for buildings, roads and yards, storage and runoff calculations for the design storm and estimated time for flood waters to recede to the natural land elevation.*

The amendment site is in an area that currently meets the adopted level of service. Once the site is developed it will meet the current LOS.

6. *Letter from the local drainage district serving the area in which the amendment is located verifying the above information.*

See Exhibit G.

**D) SOLID WASTE:**

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

According to the Comprehensive Plan, the level of service standard is 8.9 lbs. per day per residential unit. Current level of service is 7.2 lbs per capita per day, with the residential component being 3 lbs per capita per day and the non-residential component being 4.2 lbs per capita per day.

2. *Identify the facilities serving the service area in which the amendment is located including the landfill/plant capacity, current demand on landfill/plant capacity and committed landfill/plant capacity.*

The Town of Davie contracts with Broward County for solid waste disposal at the South Regional Incinerator on State Road 7. This plant has a capacity of 2,250 tons per day, as does the north regional plant. The combined capacity is 4500 tons per day or 1.6 million tons per year. Current combined plant demand is 1.05 tons per year. Current demand on the 2,800,000 cubic yard Broward Interim Contingency Landfill is 80,000 tons per year. Each incinerator plant is expandable by 33%. A 3<sup>rd</sup> incinerator facility location is reserved at the Broward County Landfill. There are no current plans for expansion of any of the referenced facilities.

3. *Identify the additional demand resulting from this amendment - provide calculations including assumed demand per square foot or dwelling unit.*

Solid Waste Demand	
Existing Designation 100,000 sq ft. of commercial x .01 x 6 lbs/day	6,000 lbs/day
Proposed Designation (100 dwelling units x 8.9 lbs/day)	890 lbs/day
<b>Decreased Demand</b>	<b>5,110 lbs/day</b>

4. *Identify the projected landfill/plant capacity and demand for the short and long range planning horizons as identified within the adopted comprehensive plan - provide demand projections and information regarding planned capacity expansions including year, identified funding sources and other relevant information.*

Contractual Minimum	2005	2010
Contractual Demand	1.09 Tons Per Year	1.095Tons Per Year
Contractual Design Capacity	1.60 Tons Per Year	1.60 Tons Per Year

5. *Identify the existing and planned service to site*

The site is vacant, therefore there is no existing service being provided. The development of the amendment site will require a licensed contractor to provide service to for the proposed 100 units.

6. *Letter from service provider verifying the above information.*

See Exhibit H.

**E) RECREATION AND OPEN SPACE ANALYSIS**

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

LOS Standard: 10 acres per 1000 population  
Current LOS: 15 acres per 1000 population

2. *Identify the parks serving the service area in which the amendment is located including acreage and facility type e.g. neighborhood, community or regional park.*

Park Name	Acreage	Facility Type
Pine Island Park	113	Community, Activity
Tree Tops Park	257	Regional, Resource
Robbins Park	160	Community, Open Space
Flamingo Road ESL	155	Regional, Resource, Open Space
Pine Island Ridge	101	Regional, Resource
Buckram/Westridge	9	Community, Open Space
C-11 Canal Linear Park	36	Community, Resource

3. *Identify the additional need for park acreage resulting from this amendment.*

Based on a Residential 10 household size of 2.5 persons, the development of the amendment site with 100 dwelling units will result in a population increase of 250 persons. This population increase would require 2.5 acres of recreation land/open space.

4. *Identify the projected park needs for the short and long range planning horizons as identified within the adopted comprehensive plan - provide need projections and information regarding planned capacity expansions including year, identified funding sources and other relevant information.*

2005			2010		
Projected Population	Acres Required	Additional Acres needed	Projected population	Acres Required	Additional Acres Needed
65,036	650.4	0	69,451	694.5	0

The above table is from TABLE IV-6 in the Comprehensive Plan. The above table confirms additional acreage will not be required. According to the Town's 1998 Comprehensive Plan, the Town has more than an adequate amount of parklands in its inventory to cover additional population increases for the future.

#### F) *TRAFFIC CIRCULATION ANALYSIS*

1. *Identify the roadways serving the site and indicate the number of lanes, current traffic volumes, adopted level of service, and current level of service for each roadway.*

The site directly fronts Orange Drive west of Pine Island Road. Given that the land use amendment will permit residential development, a radius of influence of 1.5 miles surrounding the site is established to identify potential traffic impacts. **Using traffic data from the Town of Davie's Transportation Element of their Comprehensive Plan**, roadway segments such as Orange Drive, Pine Island Road, Griffin Road, Stirling Road, Nob Hill Road, and University Drive that reside within this radius of influence and are potentially impacted by the proposed development are analyzed below.

Link	Location	Number of Lanes	Adopted Service Volume	1998 Peak Hour Volume	1998 Level of Service
University Drive	South of Griffin Road	A6LD	4,550	4,313	D
University Drive	North of Stirling Road	A6LD	4,890	4,550	D
University Drive	North of Orange Drive	A6LD	4,550	4,641	E
Nob Hill Road	South of Griffin Road	A4LD	3,260	2,220	B
Nob Hill Road	North of Orange Drive	A4LD	3,260	1,465	A
Nob Hill Road	South of I-595	A4LD	3,020	3,522	F
Stirling Road	East of University Drive	A6LD	4,550	2,266	A
Stirling Road	East of Davie Road	A6LD	4,550	3,458	C

Link	Location	Number of Lanes	Adopted Service Volume	1998 Peak Hour Volume	1998 Level of Service
Griffin Road	East of Flamingo Road	A4LD	3,020	1,398	A
Griffin Road	East of Nob Hill Road	A2LU	1,390	1,527	E
Griffin Road	East of Pine Island Road	A6LD	4,550	2,880	A
Griffin Road	East of University Drive	A6LD	4,550	1,509	A
Griffin Road	West of Florida's Turnpike	A6LD	4,550	1,739	A
Orange Drive	East of Hiatus Road	2L COL	990	644	A
Orange Drive	East of Pine Island Road	2L COL	990	681	B
Orange Drive	East of University Drive	2L COL	990	429	A
Pine Island Road	South of Griffin Road	2L COL	990	755	C
Pine Island Road	North of Orange Drive	A4LD	3,260	2,284	B
Pine Island Road	South of I-595	A4LD	3,260	3,522	F

As noted in the **Table above**, these roadways vary from a six-lane divided State Principal Arterial to a two-lane Collector for Orange Drive. Two-way peak hour roadway volume service capacity volumes (Level of Service D) vary from 4,890 vehicles per hour to 990 vehicles per hour, respectively. Based on traffic data from the Town's Transportation Element of their Comprehensive Plan, all roadway segments within the radius of influence currently operate at or better than Level of Service D, with the exception of University Drive north of Orange Drive, Nob Hill Road south of I-595, Griffin Road east of Nob Hill Road, and Pine Island Road south of I-595.

2. *Identify the projected level of service for the affected roadways for the short (five- year) and long term (2015) planning horizons. Note source if not from the Metropolitan Planning Organization plans and projections.*

**Based upon future year (2015) traffic volume projections from the Town of Davie's Transportation Element of their Comprehensive Plan**, future traffic volumes and the forecasted level of service for the identified roadway segments, such as Orange Drive, Pine Island Road, Griffin Road, Stirling Road, Nob Hill Road, and University Drive, are summarized in the **Table below**. Please note that roadway improvement projects that increase capacity are included and the future lane geometry and 2015 adopted service volume reflect the anticipated improvements.

<b>Link</b>	<b>Location</b>	<b>Number of Lanes</b>	<b>Adopted Service Volume</b>	<b>2015 Peak Hour Volume</b>	<b>2015 Level of Service</b>
University Drive	South of Griffin Road	A6LD	4,550	4,703	E
University Drive	North of Stirling Road	A6LD	4,550	4,734	E
University Drive	North of Orange Drive	A8LD	5,590	4,673	C
Nob Hill Road	South of Griffin Road	A4LD	3,260	2,892	D
Nob Hill Road	North of Orange Drive	A4LD	3,260	3,691	E
Nob Hill Road	South of I-595	A6LD	4,550	4,017	D
Stirling Road	East of University Drive	A6LD	4,550	3,285	B
Stirling Road	East of Davie Road	A6LD	4,550	4,209	D
Griffin Road	East of Flamingo Road	A4LD	3,020	1,784	A
Griffin Road	East of Nob Hill Road	A4LD	3,020	2,645	D
Griffin Road	East of Pine Island Road	A6LD	4,550	4,176	D
Griffin Road	East of University Drive	A6LD	4,550	3,162	B
Griffin Road	West of Florida's Turnpike	A6LD	4,550	4,238	D
Orange Drive	East of Hiatus Road	2L COL	990	248	A
Orange Drive	East of Pine Island Road	2L COL	990	549	A
Orange Drive	East of University Drive	2L COL	990	361	A
Pine Island Road	South of Griffin Road	4LD	2,170	1,646	C
Pine Island Road	North of Orange Drive	A4LD	3,260	3,147	D
Pine Island Road	South of I-595	A6LD	4,550	3,998	D

As noted above, University Drive south of Griffin Road, University Drive north of Stirling Road, and Nob Hill Road north of Orange Drive have been identified as exceeding the adopted level of service capacity volume based on 2015 traffic forecasts per the Town of Davie's Comprehensive Plan. Each segment is expected to operate at Level of Service E by 2015.



This represents three (3) links that do not have sufficient capacity to operate at an acceptable level of service.

Please note that these links that operate at an unacceptable level of service are somewhat different from those previously identified based on 1998 traffic data. This is because of anticipated roadway improvement projects that will increase capacity on those segments beyond the 2015 forecasted traffic volume, resulting in an acceptable level of service.

3. *Analyze the traffic impact from this amendment – calculate anticipated number of trips for the existing and proposed land use designation. Distribute the additional trips on the roadway network and identify the resulting level of service change for the short (5-year) and long range (2015) planning horizons.*

The amendment will greatly reduce the number of trips on the area's roads. The nearly 10-acre site is currently vested for 100,000 square feet of commercial use, which would generate 628 PM peak hour trips. However, that same 10-acre site, if developed to include only 100 townhouses, would produce approximately 56 PM peak hour trips. **This represents a reduction in PM peak hour trip generation of 572 trips, or 91 percent fewer PM peak hour trips than what is currently vested.**

These 56 PM peak hour trips are distributed to the roadway network, including the links noted earlier. Analysis of the 2015 traffic forecasts plus the project traffic indicates that the three (3) roadway links identified above will continue to operate at an unacceptable level of service, provided no capacity improvements occur along these roadways.

#### *G) MASS TRANSIT ANALYSIS*

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

Maximum ridership or maintaining a 70% peak hour functional area coverage for residential and employment locations within a ¼ mile of a fixed bus route.

2. *Identify the facilities serving the service area in which the amendment is located.*

Broward County provides regional bus service to the Town of Davie. Routes exist along Griffin Road.

3. *Identify the additional demand resulting from this amendment.*

As stated in the comprehensive plan, this area is not home to typical generators of, or destinations for mass transit users, due to demographics, home ownership and so on. This project is not expected to generate mass transit users. The amendment from 100,000 sq. ft. of commercial to 100

units (with garages/carports) lessens the likelihood for the site to be served by mass transit.

4. *Identify the projected mass transit capacity and demand for the short and long range planning horizons as identified within the adopted comprehensive plan – provide demand projections and information regarding planned capacity expansions including year, identified funding sources and other relevant information.*

The current modal split of 1.15 mass transit and 98.85% personal vehicle is not likely to change in the short or long term planning periods. As stated on page II-98 of the Comprehensive Plan, there are no identifiable deficiencies noted within the Town.

5. *Identify the existing and planned service to the site.*  
According to Map II-11 in the Comprehensive Plan, the nearest route is on Griffin Road. Direct service to the site does not exist and is not planned since the site is neither a generator nor a destination.

6. *Letter from service provider verifying the above information.*

See Exhibit I.

#### *H) PUBLIC EDUCATION ANALYSIS*

1. *Identify the existing public elementary and secondary education facilities serving the area in which the amendment is located.*

See #2 below.

2. *Identify the existing school enrollment and permanent design capacity of the public elementary and secondary education facilities serving the area.*

School	Design Capacity	02/03 Projected Enrollment
Silver Ridge Elementary	840	1054 (125% of capacity)
Indian Ridge Middle School	1745	2105 (121% of capacity)
Western High School	1923	2590 (135% of capacity)

3. *Identify the additional student demand resulting from this amendment - calculations should be based on generation rates specified in the Broward County Land Development Code.*

The development proposes 100 townhomes. Average Generation Rates are derived from Broward County Ordinance 93-37. Total students for each level (elementary, middle and high schools) are rounded up or down to the nearest whole number with a minimum generation of 1 student. Though over capacity, Silver Ridge, Indian Ridge and Western are not considered critically overcrowded by capacity standards. Broward County

has an Adopted Level of Service Standard B, which considers a middle school to be critically overcrowded when enrollment is 140% of design capacity or exceeds **2000** students. Indian Ridge Middle is overcrowded by the 2000 student limit criteria. The existing designation does not place a demand on the area schools. The proposed designation and development of 100 three-bedroom town house units will generate the following student demand:

School Level	Generation rate	# of Units	Students
Elementary	0.139	100	13.9
Middle	0.062	100	6.2
High	0.074	100	7.4
<b>TOTAL</b>	<b>0.275</b>	<b>100</b>	<b>27.5</b>

4. *Identify the planned and/or funded improvements to serve the area in which the amendment is located as included within the School Board's five year capital plan - provide student demand projections and information regarding planned permanent design capacities and other relevant information.*

It should be noted that two new schools in the South Central Area opened on August 26, 2002. Cypress Bay High School in Weston has a design capacity of 2875 students with a projected enrollment of 2626 students. Manatee Bay Elementary School in Weston has a design capacity of 1115 students with a projected enrollment of 940 students.

Western High School forecasts a decrease in enrollment in the next four years, dipping from 2590 to 2145 students in 2003/2004 but rising again to 2302 students by 2006/2007. It is possible the 20<sup>th</sup> Day enrollment figures could show enrollment at the 3 Davie schools below the forecasts. This data will not be available until the fall of 2002. In addition, classroom additions are planned for Plantation High School, another South Central School. Additional schools are in the planning and site procurement stages for construction between 2003 and 2007.

5. *Identify other public elementary and secondary school sites or alternatives (such as site improvements, nominal fee lease options, shared use of public space for school purposes etc.), not identified in Item #4 above, to serve the area in which the amendment is located.*

The Town and the School Board have taken initial steps toward building a new middle school at Imagination Farms, which will provide relief for Indian Ridge Middle School.

## 7. **ANALYSIS OF NATURAL AND HISTORIC RESOURCES**

- A) *Historic sites or districts on the National Register of Historic Places or locally designated historic sites:*

None.

*B) Archaeological sites listed on the Florida Master Site File:*

None.

*C) Wetlands:*

The amendment site is covered by a valid Environmental Resource License from Broward County DPEP in order to fill 1.8 acres of degraded wetlands and create a 2.5 acre marsh on-site. The proposed wetland marsh is protected by a recorded conservation easement.

*D) Local Areas of Particular Concern as identified within the Broward County Land Use Plan:*

This parcel is not identified as a LAPC or ESL.

*E) "Endangered" or "threatened species" or "species of special concern". If yes, identify the species and show the habitat location on a map:*

None.

*F) Plants listed in the Endangered Plant Index for protection by the Florida Department of Agriculture and Consumer Services:*

None.

*G) Well-fields - Indicate whether the amendment is located within a well-field protection zone of influence as defined by Broward County's "Potable Water Supply Well-field Protection Zone of Influence" Ordinance. If so, specify the affected zone and any provisions which will be made to protect the well-field:*

The site is not within a well-field protection zone of influence.

*H) Soils - Describe whether the amendment will require the alteration of soil conditions or topography. If so, describe what management practices will be used to protect or mitigate the area's natural features:*

The site will be dredged, filled and graded where necessary in conformance with the BCDPEP license. There are no natural features to be protected. The exotics will be removed.

*I) Beach Access - Indicate if the amendment is on the oceanfront. If so, describe what impact, if any, it will have on public beach access:*

The site is not on the oceanfront.

**8. LAND USE COMPATIBILITY**

*Describe how the amendment is consistent with existing and proposed land uses in the area and what provisions have or will be made to ensure land use compatibility:*

The rezoning to RM-10 is compatible with surrounding development patterns due to the site's proximity to adjacent multi-family development, it's location on arterial and collector roads and proximity to parks and recreation facilities such as Pine Island and Tree Tops Parks. Adjacent land use plan designations include commercial on 2 sides, and LM 10 on the north. There is also a Medium 16 parcel just northeast of the subject site. The area to the west is designated Estate, however it is separated by a CBWCD Canal and dense vegetation. The subject site's open space area will act as a buffer to the Estate designation. Adjacent zoning designations include RM-10, B-2 and B-3.

The proposed design also sets aside a large 3 acre +/- consolidated open space, in addition to meeting the required landscaping requirements and buffers and providing on-site recreation amenities. The applicant has been working with the abutting townhouse development for provision of additional planting buffers. Multi-family properties in the area carry a land use density of Low Medium 10 and Medium 16. Nearby multi-family town house developments include Reflections, Alpine Woods and Isla Merita.

**9. HURRICANE EVACUATION ANALYSIS**

*Hurricane evacuation re-analysis based on the proposed amendment, considering the number of persons requiring evacuation, availability of hurricane shelter spaces, and evacuation routes and times:*

The amendment site is located west of I-95, which is not considered a hurricane evacuation area. The development of the site will not adversely impact the evacuation times.

**10. REDEVELOPMENT ANALYSIS**

*Indicate if the amendment is located in an identified redevelopment area. If so, describe how the amendment will facilitate redevelopment and promote existing redevelopment plans:*

The site is not within an identified redevelopment area, but is an "infill development".

**11. INTERGOVERNMENTAL COORDINATION**

*Describe whether the proposed amendment affects adjacent local governments:*

The proposed amendment should have no affect on any other jurisdictions.

**12. CONSISTENCY WITH GOALS, OBJECTIVES, AND POLICIES OF THE TOWN OF DAVIE LAND USE PLAN**

*List of objectives and policies of the Future Land Use Element and other affected elements with which the proposed amendment is compatible:*

**Future Land Use Element**

**Objective 1 Land Development Regulations**

No Inconsistencies. Meets concurrency, LOS.

**Objective 2 Natural Resource Protection**

Required to enhance, create and conserve wetlands.

**Objective 4 Location & Distribution of Land Uses**

Services are in place to serve the in-fill development.

**Policy Group 6: Residential Use**

Moderate density is adjacent to Pine Island Road. The reason the site is on the west side Pine Island Road is due to the fact that the road bends to the east as it approaches Orange Drive. The original alignment would have placed the amendment site east of Pine Island Road. The existing RM-10 development north of the amendment site is west of Pine Island Road.

**Transportation Element**

Amendment reduces the amount of potential trips on the network. No inconsistencies noted.

**Recreation, Open Space & Conservation Element**

No Inconsistencies. Project provides more than the required open space through creation and conservation of wetlands.

**13. CONSISTENCY WITH GOALS, OBJECTIVES, AND POLICIES OF THE BROWARD COUNTY LAND USE PLAN**

*List of objectives and policies of the Broward County Land Use Plan with which the proposed amendment is compatible:*

Goal 01.00.00, Objective 01.01.00, Policy 01.01.02 and 01.01.03  
Objective 01.02.00, Policy 01.02.01 and 01.02.02  
Objective 01.03.00, Policy 01.03.02  
Objective 01.04.00, all Policies  
Objective 01.06.00, Policy 01.06.02

Policy 02.04.05 (Flex Units Rule)

Goal 5.00.00, Objective 05.02.00, Policy 05.02.01

Goal 08.00.00, Objective 08.01.00, Policy 08.01.01, 08.01.04  
Objective 08.03.00, Policy 08.03.01 and 08.03.03

Goal 12.00.00, Objective 12.01.00, Policy 12.01.06

Goal 14.00.00, Objective 14.01.00, Policy 14.01.01  
Objective 14.02.00, all Policies

Goal 15.00.00 Objective 15.03.00, Policy 15.03.01 and 15.03.02

Goal 17.00.00, Objective 17.01.00

**14. CONSISTENCY WITH THE STATE COMPREHENSIVE PLAN**

*Listing entitled "Consistency of the Local Comprehensive Plan Amendment with the State Comprehensive Plan", which lists the State Comprehensive Plan goals and policies (Ch. 187) which are addressed by the plan amendment:*

- (16) Land Use (a) Goal – In recognition of the importance of preserving the natural resources and enhancing the quality of life of the State, development shall be directed to those areas which have in place, or have agreements to provide, the land and water resources, fiscal abilities, and service capacity to accommodate growth in an environmentally acceptable manner.

**15. POPULATION PROJECTIONS**

1. *Population projections (indicate year):*

	1995	2010
Population	65,648	90,387

The development of 100 townhouses would result in a population increase of 250 permanent residents.

2. *Relationship of the amendment to the analysis (included in the plan -9J-5.006(2)(c)) of the land needed to accommodate the projected population:*

The amendment site was accounted for when the future population was analyzed. The Town had and has enough land to accommodate the projected population increase of 250 permanent residents generated by the additional 100 units. There has been a trend toward urban in-fill development to redirect new housing/population back to the eastern part of the County. This anti-suburban sprawl movement is known as Eastward Ho!. Suburban sprawl in the County has been the result of overdeveloping of single family and commercial property as development moved westward. As part of the Eastward Ho! movement, a significant number of new multifamily projects has been approved in recent years in the central and eastern areas of Southwest Broward County.

3. *Revised population projections (if applicable):*

	2005	2010
Permanent	65,898	90,637

4. *Whether the proposed development (if it provides housing) is proposed to meet the housing needs of the projected population as identified in the local plan:*

The amendment site was accounted for when the future population was analyzed. The Town had and has enough land to accommodate the projected population increase of 250 permanent residents generated by the 100 reserve units.

**16. ADDITIONAL SUPPORT DOCUMENTS**

*Other support documents or summary of support documents on which the recommendations are based:*

See conceptual site plan.

**17. PLAN ELEMENTS**

- A) *THE ENTIRE ELEMENT BEING AMENDED:*

The local land use plan will be recertified by the Broward County Planning Council.

- B) *PROPOSED TEXT CHANGES:*

None.

- C) *FUTURE LAND USE MAP SHOWING THE BOUNDARY OF THE SUBJECT PROPERTY, SURROUNDING STREET NETWORK, SURROUNDING FUTURE LAND USES, AND NATURAL RESOURCES (REFER TO 9J-5.013(1)(a)):*

See Exhibit B.

- D) *EVALUATION AND APPRAISAL REPORT (IF DONE IN CONJUNCTION WITH THE PROPOSED AMENDMENT):*

N/A.



# **EXHIBIT A**

## **SKETCH AND DESCRIPTION**

FLEX REZONING  
LAND DESCRIPTION  
A PORTION OF PARCELS A AND B  
"PINE ISLAND COMMERCIAL"  
TOWN OF DAVIE, BROWARD COUNTY, FLORIDA

A portion of Parcels A and B, "PINE ISLAND COMMERCIAL", according to the plat thereof as recorded in Plat Book 167, Page 50 of the Public Records of Broward County, Florida, being more particularly described as follows:

**BEGIN** at the Southwest corner of said Parcel 'A';

**THENCE** North 02°05'55" West, on the West line of said Parcel "A", a distance of 168.58 feet;

**THENCE** North 87°54'05" East, a distance of 24.23 feet to a point on the arc of a non-tangent curve concave Northeasterly whose radius point bears North 43°22'51" East and a point on the Westerly line of a 32.00 foot Lake Maintenance Easement as shown on said plat "PINE ISLAND COMMERCIAL";

**THENCE** Southeasterly on the arc of said curve and on said Lake Maintenance Easement, having a radius of 67.00 feet, a central angle of 44°31'55" and an arc distance of 52.07 feet to a point of non-tangency;

**THENCE** North 88°27'19" East, a distance of 95.47 feet;

**THENCE** North 83°24'41" East, a distance of 12.44 feet to the beginning of a tangent curve concave Northwesterly and a point on the Easterly line of a Conservation Easement as described in Official Records Book 30470, Page 397, of the Public Records of Broward County, Florida;

**THENCE** on said Conservation Easement the following four (4) courses and distances;

1. Northeasterly on the arc of said curve having a radius of 120.00 feet, a central angle of 28°11'26" and an arc distance of 59.04 feet to a point of tangency;
2. North 55°13'15" East, a distance of 105.89 feet to the beginning of a tangent curve concave Northwesterly;
3. Northeasterly on the arc of said curve having a radius of 220.00 feet, a central angle of 53°43'19" and an arc distance of 206.28 feet to a point of tangency;
4. North 01°29'56" East, a distance of 75.59 feet to a point on said 32.00 foot Lake Maintenance Easement line;

Prepared by:  
CALVIN, GORDANO AND ASSOCIATES, INC.  
1800 Eller Drive, Suite 600  
Fort Lauderdale, Florida 33316  
09/04/02  
P:\Projects\3002\022467 Pine Island Commercial\SURVEY\Legal Descriptions\022467 Rezoning LGL.doc

Sheet 1 of 3 Sheets

THENCE South 88°30'04" East on said Lake Maintenance Easement line, a distance of 12.00 feet to a point on the arc of a non-tangent curve concave Southwesterly whose radius point bears North 88°30'04" West;

THENCE Northwesterly on the arc of said curve and on said Lake Maintenance Easement line, having a radius of 67.00 feet, a central angle of 27°31'41" and an arc distance of 32.19 feet to a point of non-tangency;

THENCE North 01°27'54" West, a distance of 49.15 feet to a point on the North boundary line of said Parcel "A";

THENCE North 88°32'06" East on said North boundary line, a distance of 749.57 feet to the Northeast corner of said Parcel "A";

THENCE on the East boundary line of said Parcel "A" the following three (3) courses and distances;

1. South 02°07'53" East, a distance of 95.13 feet;
2. North 87°52'07" East, a distance of 12.00 feet;
3. South 02°07'53" East, a distance of 260.80 feet;

THENCE South 87°52'07" West, a distance of 302.03 feet;

THENCE South 02°07'53" East, a distance of 59.28 feet to a point on the North line of a Ingress-Egress Easement as shown on said plat "PINE ISLAND COMMERCIAL";

THENCE South 88°27'19" West on said Ingress-Egress line, a distance of 50.00 feet;

THENCE South 02°07'53" East on said Ingress-Egress line, a distance of 124.00;

THENCE South 01°32'41" East, a distance of 12.00 feet to a point on the South boundary line of said Parcel "A";

THENCE on said South boundary line the following seven (7) courses and distances;

1. North 84°42'07" West, a distance of 100.72 feet;
2. South 88°27'19" West, a distance of 295.00 feet;

Prepared by:  
CALVIN, GIORDANO AND ASSOCIATES, INC.  
1800 Eller Drive, Suite 600  
Fort Lauderdale, Florida 33316  
09/04/02  
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Sheet 2 of 3 Sheets

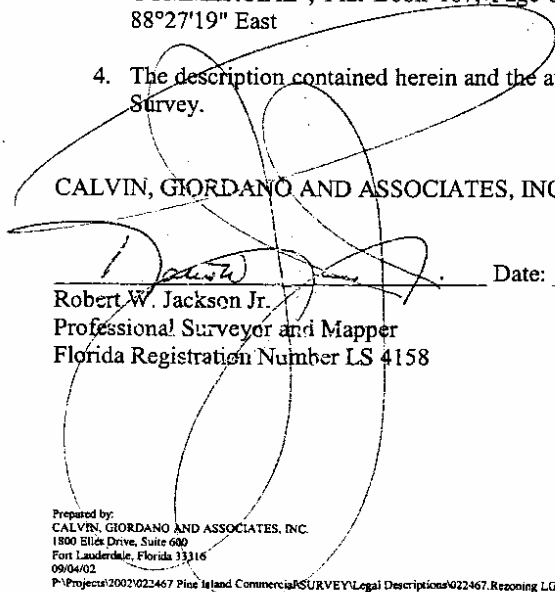
3. South 01°32'41" East, a distance of 12.00 feet;
4. North 84°42'07" West, a distance of 100.72 feet;
5. South 88°27'19" West, a distance of 217.00 feet;
6. South 01°32'41" East, a distance of 12.00 feet;
7. South 88°27'19" West, a distance of 133.43 feet to the **POINT OF BEGINNING**.

Said lands lying in the Town of Davie, Broward County, Florida and containing 435,310 square feet (9.9933 acres) more or less.

**NOTES:**

1. Not valid without the signature and original embossed seal of a Florida licensed Professional Surveyor and Mapper.
2. Lands described hereon were not abstracted, by the surveyor, for ownership, easements, rights-of-way or other instruments that may appear in the Public Records of said County.
3. Bearings shown hereon are relative to the South boundary of Parcel 'A', "PINE ISLAND COMMERCIAL", Plat Book 167, Page 50, Broward County, Florida. Line Bears North 88°27'19" East
4. The description contained herein and the attached sketch, do not represent a field Boundary Survey.

CALVIN, GIORDANO AND ASSOCIATES, INC.

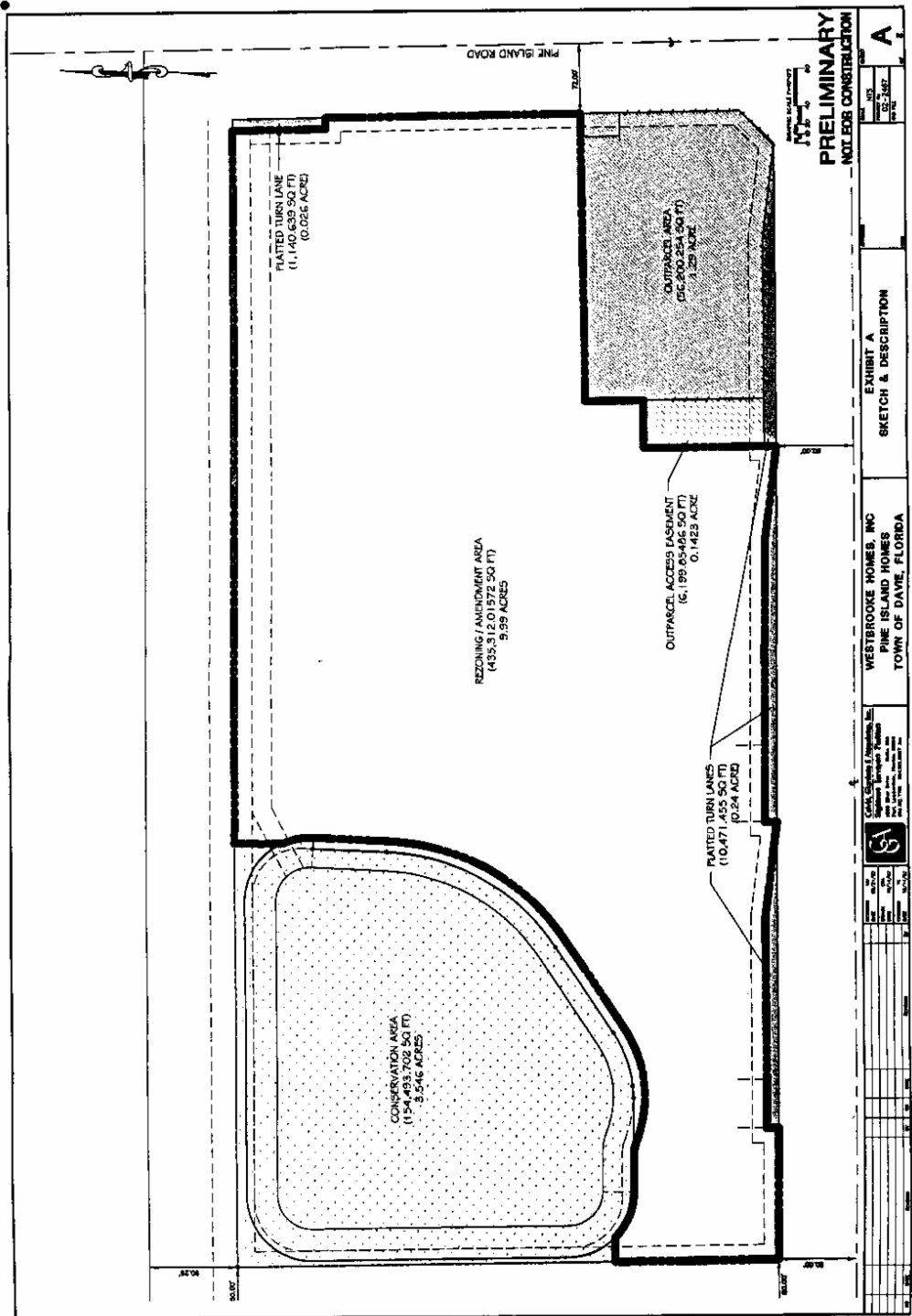
  
Robert W. Jackson Jr.  
Professional Surveyor and Mapper  
Florida Registration Number LS 4158

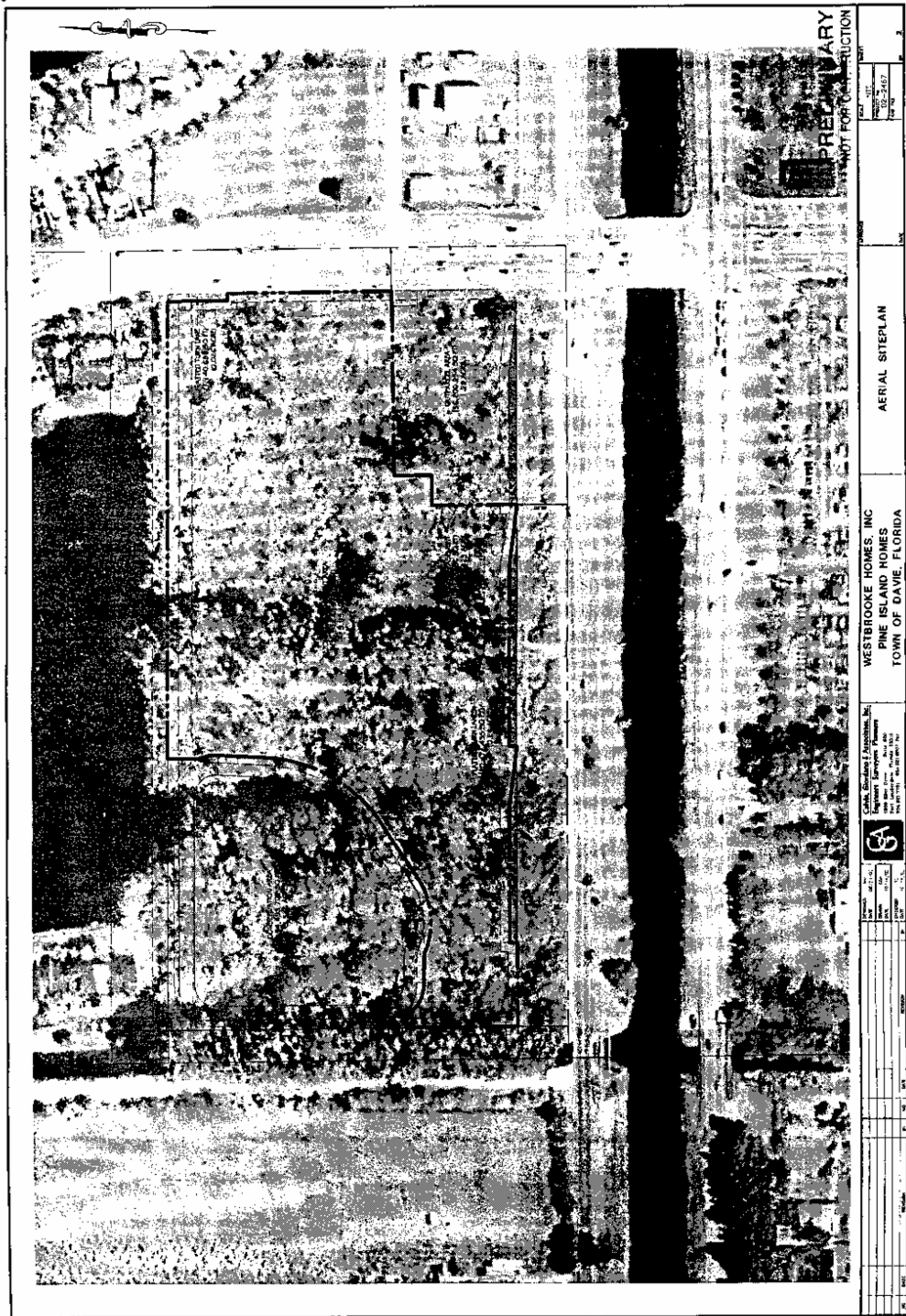
Date: 11/26/02

Prepared by:  
CALVIN, GIORDANO AND ASSOCIATES, INC.  
1800 Slide Drive, Suite 600  
Fort Lauderdale, Florida 33316  
09/04/02  
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Sheet 3 of 3 Sheets



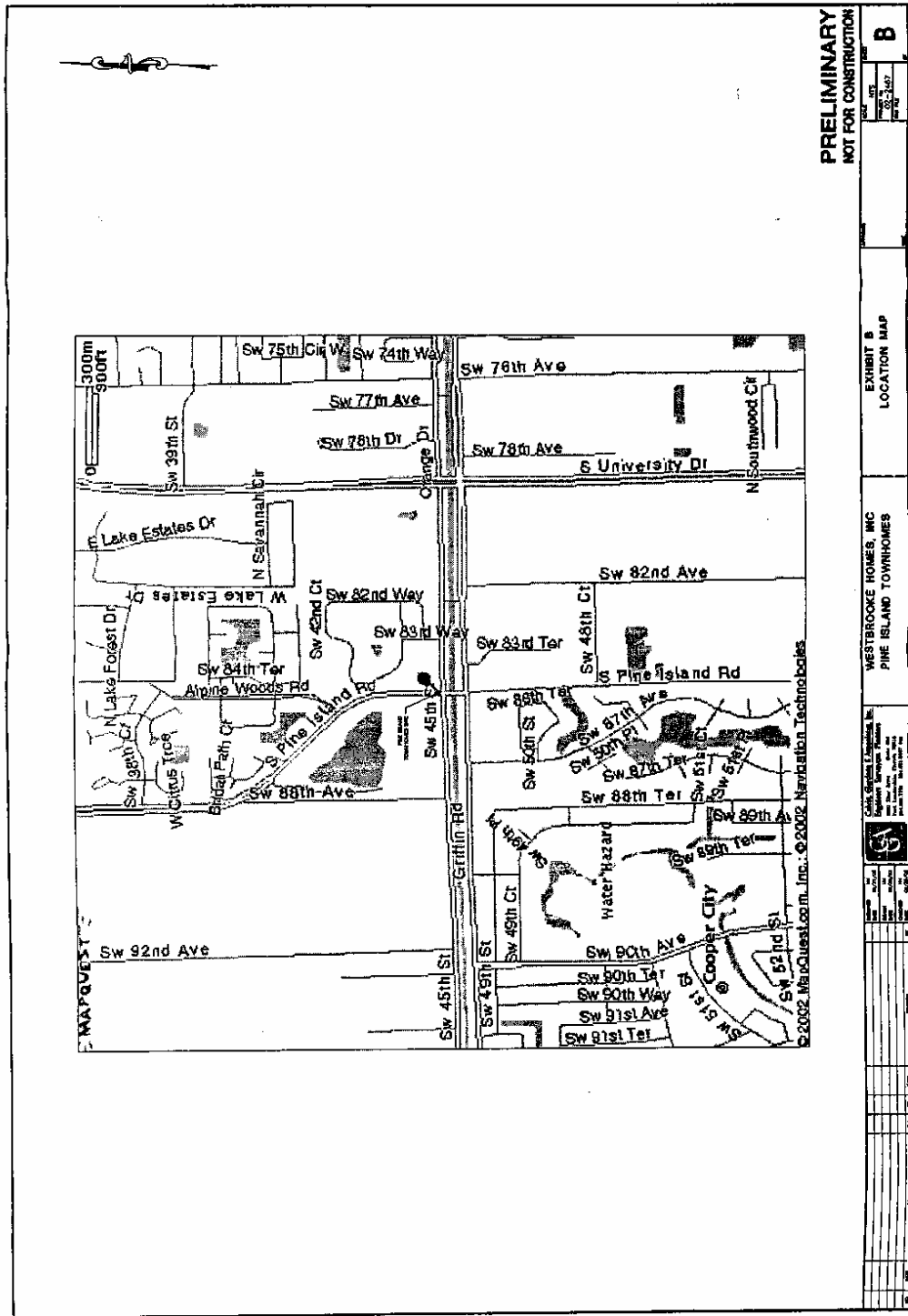




# **EXHIBIT B**

## **SITE LOCATION MAP**



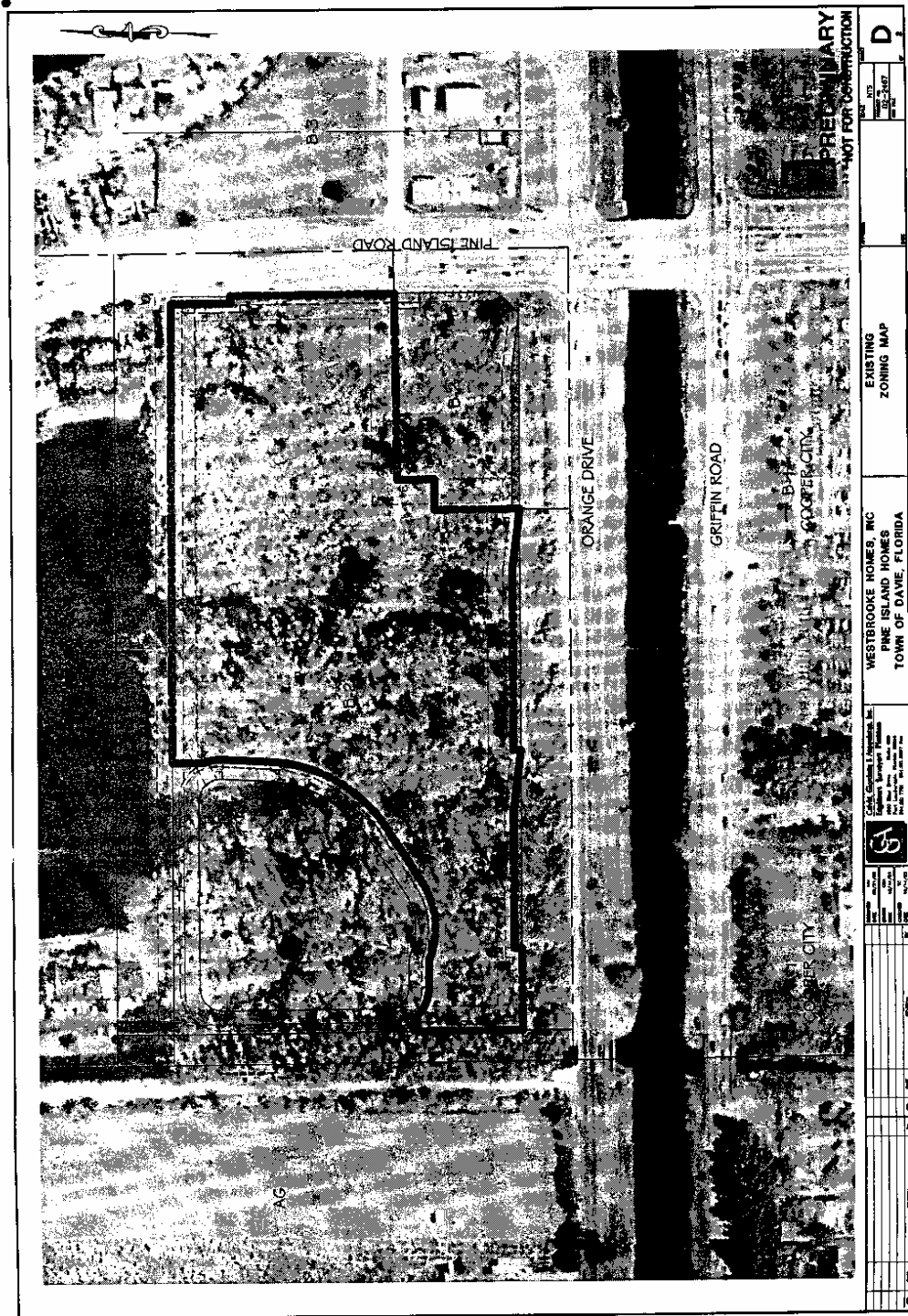


**EXHIBIT C**  
**CURRENT & PROPOSED**  
**LAND USE DESIGNATION MAPS**





**EXHIBIT D**  
**CURRENT & PROPOSED ZONING**  
**DESIGNATION MAPS**

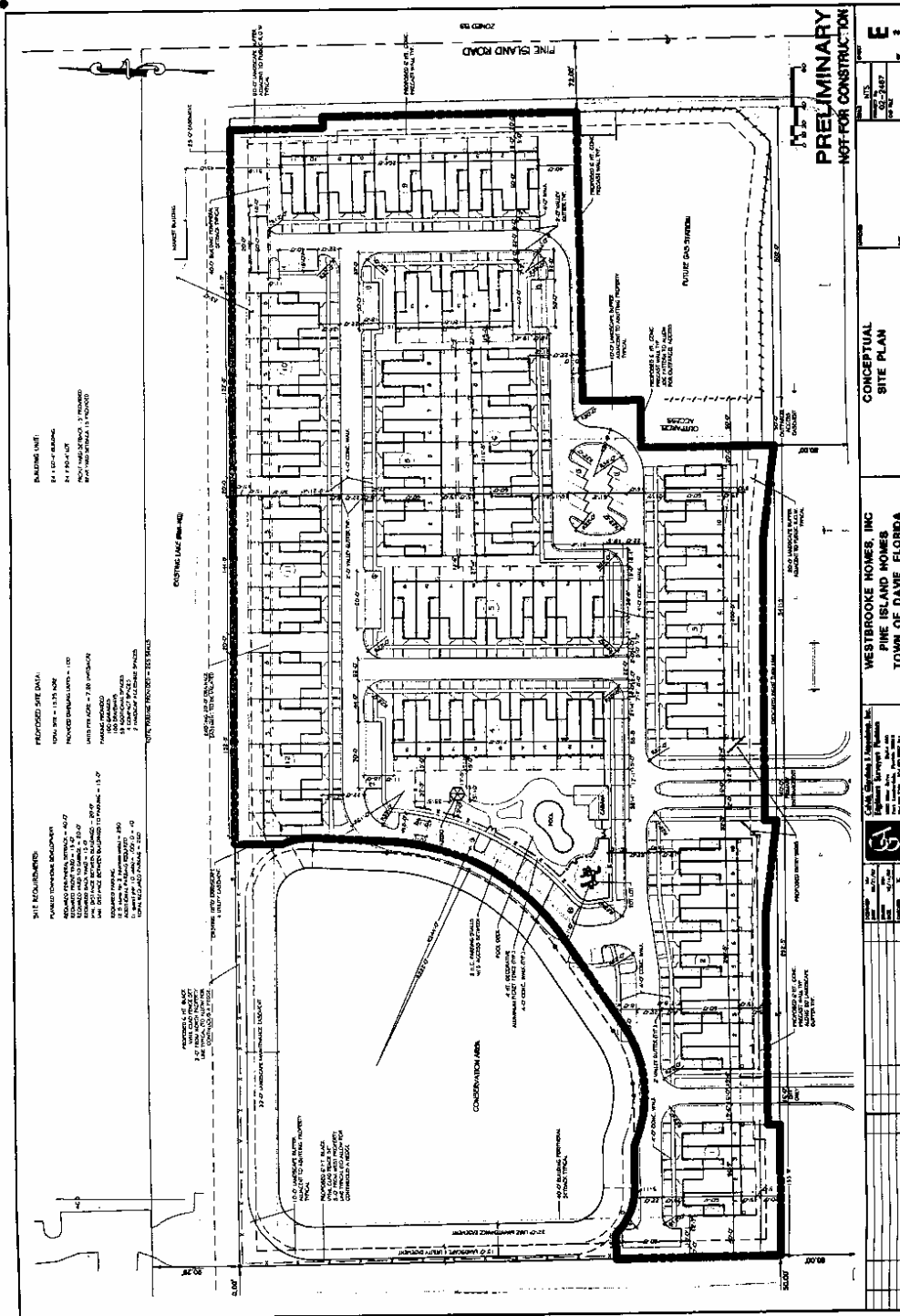




# **EXHIBIT E**

## **CONCEPTUAL SITE PLAN**





# **EXHIBIT F**

## **UTILITY VERIFICATION LETTER**



November 26, 2002

Mr. Hoyt Holden  
Calvin Giordano & Associates, Inc.  
1800 Eller Drive  
Suite 600  
Ft. Lauderdale, FL 33316

**Re: Pine Island Commercial Land Use Plan Amendment  
Town of Davie**

Dear Mr. Holden:

Pursuant to your request, this letter is being written in response to your correspondence dated November 25, 2002 regarding the above referenced project.

**1. Wastewater**

There are 3 wastewater plants currently on line, Springtree with a capacity of 10 MGD, Sawgrass with a capacity of 20 MGD, and Southwest Utility Facility with a capacity of 0.99 MGD.

The current capacity for the City of Sunrise service area is 30.99 MGD. The current demand for the Springtree, Sawgrass, and Southwest facilities is 21.43 MGD with a projected demand for the year of 2010 of 24.2 MGD. The projected demand is based upon the 1995 Water and Wastewater Master Plan prepared by Montgomery Watson.

**2. Water**

There are 4 water plants currently on line, the Springtree, Park City, Sawgrass, and Southwest facility with a capacity of 38.0 MGD along with a 5 MGD standby capacity at Park City.

The current demand for the Springtree, Park City, Sawgrass, and Southwest facilities is 25.25 MGD. Current capacity for the City of Sunrise water system is 38.0 MGD along with a 5 MGD standby capacity with a long-range capacity of 42 MGD in service to be completed in 2006.

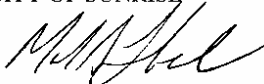
Also, please find attached a spreadsheet specifying the current committed capacity for the City of Sunrise water system.

The City of Sunrise makes no representation to any party that water and sewer plant capacity is available until a party executed a Developer Permit with the City. Availability of water and sewer plant capacity or reservation will only be determined at such time as a signed Developer Permit is submitted to the City for approval.

Should you have any further questions, please do not hesitate to contact me at 746-3285.

Sincerely,

CITY OF SUNRISE



Mark S. Lubelski, P.E.  
City Engineer

MSL: sat  
Attachment

cc: Thomas A. Kassawara, P.E., Director, Planning and Development  
Philip Gildan

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## City of Sunrise

### Regional Water and Wastewater Utility

The City of Sunrise operates a regional water and wastewater utility providing for a service area of over sixty square miles in Central Broward County, Florida. This service area covers the City of Sunrise municipal boundary, portions of the Town of Davie and portions of unincorporated Broward County including the Bonaventure area, and the Indian Trace Community Development District (ITCDD), a twenty square mile area which includes the 10,000 acre Weston development. The service area is shown on the attachment to this package.

Currently, the City is operating two conventional water treatment facilities, each with their own Biscayne aquifer wellfields. Treatment capacity totals 38 million gallons per day (mgd). Water storage facilities are located at six different sites throughout the service area and total 21.8 million gallons.

In addition, the City is currently operating three wastewater treatment facilities. Treatment capacity totals 30.99 mgd. This capacity includes two 10 mgd expansions completed in 1991, and 1999 at the Sawgrass Wastewater Treatment Plant. Effluent disposal facilities for all wastewater treatment plants are located at the Sawgrass Wastewater Treatment Plant site. Effluent disposal is by means of deep injection wells and the current total disposal capacity is 56.1 mgd. The wastewater disposal capacity is 56.1 mgd or 44.88 with one well out of service. The locations of these facilities are located on the attached service area map.

The update to the City of Sunrise Master Plan projected populations for a 25-year planning period. The population projection is comprised of two parts consisting of the estimation of historical population to serve as the base data and second, it is the projection of future population.

#### Population Projections

Year	Population
2000	169,372
2005	183,196
2010	195,584
2015	206,423
2020	210,167

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### Waste Water Data Collection Form

Facility Locations: Springtree Plant (Plant #1) – 4350 Springtree Drive, Sunrise  
Park City Plant (Plant #2) – 8700 S.W. 19<sup>th</sup> Place, Davie  
Sawgrass Plant (Plant #3) – 14140 N.W. 8<sup>th</sup> Street, Sunrise  
Southwest Utility Facility – 15400 Watermill Rd. Davie  
\*\*Regional System, fully integrated with force mains.

Operational Responsibility: City of Sunrise, Utilities Department

System DPEP Permit Capacity: 30.0 MGD (Issued by DPEP July 1, 2000, based on completion of Sawgrass Plant Expansion)

Actual Treatment Capacity: Springtree Plant – 10.0 MGD  
(Average Daily Flow)  
Sawgrass Plant – 20.0 MGD  
Southwest Utility – 0.99 MGD (Separate DPEP Permit)

Actual Disposal Capacity: 3 operating Deep Injection Wells, 56.1 MGD – 3 wells  
44.8 MGD – 2 wells  
  
1 Constructed Deep Injection Well (waiting FDEP certification).

Current Demand: October, 2000  
Average 12 Month Demand 21.43 MGD  
Peak 12 Month Demand – 23.67 (June, 2002)

Service Area Boundaries: See attached diagram

Flow Projections:

<u>Year</u>	<u>Average Day Flows (mgd)</u>
2005	22.70
2010	24.20
2015	25.59
2020	25.89

Planning: Sawgrass Plant – There are no immediate plans for expansion.  
A 5 MGD expansion has just been completed.  
  
Springtree Plant – There are no immediate plans for expansion.

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### Water Data Collection Form

Facility Address: Springtree Plant (Plant #1) – 4350 Springtree Drive, Sunrise  
Park City Plant (Plant #2) – 8700 S.W. 19<sup>th</sup> Place, Davie  
Sawgrass Plant (Plant #3) – 14140 N.W. 8<sup>th</sup> Street, Sunrise

Operational Responsibility: City of Sunrise, Utilities Department

Design Capacity of Facility: Springtree Plant – 24 MGD  
Park City Plant – 5.0 MGD  
Sawgrass Plant – 12 MGD  
\*\*Regional system, fully integrated with water mains.  
Southwest Plant – 2.0 MGD

Permit Capacity of Facility: Springtree Plant – 24.00 MGD  
Park City Plant – 5 MGD  
Southwest Plant – 2.0 MGD

Well Capacity: Springtree Plant – 28.73 MGD (17 Wells, one well out of service)  
Park City 6.5 MGD (1 well out)  
Southwest Plant – 2.0 (1 well out)

Storage Capacity: Indian Trace – 2 MG      Springtree – 9.0 MG  
Bonaventure – 1 MG      Sawgrass – 5 MG  
Malaleuca – 2.3 MG      Park City – 0.9 MG  
Southwest – 1.5 MG

Current Demand on System: July 2002  
Average 12 Month Demand – 25.245 MGD  
Peak 12 Month Demand – 30.803 (May 2002)

Service Area Boundaries: See attached diagram

Planning: A new 6 MGD water treatment system is being designed for the Sawgrass Treatment Plant Site, located at 14140 N.W. 8<sup>th</sup> Street, Sunrise. Completion of this system is anticipated 2006. This system will utilize water from the Biscayne Aquifer.

Flow Projections:

<u>Flow</u>	<u>Annual Average Daily Demand (mg)</u>
2005	25.22
2010	26.84
2015	28.43
2020	28.76

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H) **MAXIMUM ALLOWABLE DEVELOPMENT UNDER THE PROPOSED SITE DESIGNATION:**

100 dwelling units.

6. **ANALYSIS OF PUBLIC FACILITIES AND SERVICES**

A) **SANITARY SEWER ANALYSIS:**

1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

According to the Town of Davie Comprehensive Plan, multifamily townhomes generate a demand of 275-325 gallons per day (GPD). Current level of service is 250 GPD.

2. *Identify the facilities serving the service area in which the amendment is located including the plant capacity, current demand on plant capacity and committed plant capacity.*

Sanitary sewer service is provided by the City of Sunrise. The plants combined capacity is 29.9 Million Gallons per Day (29.9 MGD), the current combined (July 2001-June 2002) demand is 21.51 MGD and the committed demand is approximately 0.51 MGD.

3. *Identify the additional demand resulting from this amendment - provide calculations including assumed demand per square foot or dwelling unit.*

Sanitary Sewer Demand	
Existing Designation 170,000 sq. ft. commercial x .1	17,000 GPD
Proposed Designation (100 town homes x 300 GPD)	<del>30,000 GPD</del> 25,658.0
Increased Demand	<del>13,000 GPD</del> 8,658

4. *Identify the projected plant capacity and demand for the short and long range planning horizons as identified within the adopted comprehensive plan - provide demand projections and information regarding planned capacity expansions including year, identified funding sources and other relevant information.*

Sunrise Plants	2000	2005
Projected ADF	19.3 MGD	<del>21.2 MGD</del>
Design Capacity	25.0 MGD	25.0 MGD

22.70  
30.0 MG



5. *Identify the existing and planned service to site - provide information regarding existing and proposed trunk lines and lateral hookups to the amendment site.*

The site is not currently served. The City of Sunrise has the capacity and will provide sanitary sewer services for this site. The Sanitary Sewer Atlas shows a force main along Pine Island Road. The proposed development may include construction of a lift station in order to connect to the existing off site facilities. Davie has water and sewer lines on Orange Drive but by agreement cannot serve the site.


6. *Letter from utility verifying the above information.*  
See Exhibit F., Letter has been requested.

B) **POTABLE WATER ANALYSIS:**


1. *Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.*

According to the Town of Davie Comprehensive Plan, the flow rate for a multifamily town home is 275-325 GPD. The current level of service is 215 GPD.

2. *Identify the facilities serving the service area in which the amendment is located including the plant capacity, current demand and committed demand.*

 The City of Sunrise supplies the area with treated potable water. Currently the City of Sunrise is meeting the area's average daily demand. The treatment plant has a design capacity of 33.4 MGD and a current peak flow of 22.15 MGD. This figure includes existing commitments.  
43  
30.803

3. *Identify the wellfield serving the service area in which the amendment is located including the permitted capacity, remaining capacity and expiration date of the permit.*

 This area is served by the City of Sunrise system, located approximately 2 miles west of Pine Island Road and by the South Regional Wellfield in Brian Piccolo Park in Cooper City. These Broward County wellfields contain a capacity of 7.7 MGD (Average) and 4.167 MGD (Maximum). Current demand is 8.2 MGD.

4. *Identify the additional potable water demand resulting from this amendment - provide calculations including assumed demand per square*

foot or dwelling unit.

Potable Water Demand	
Existing Designation 170,000 sq. ft. commercial x .1	17,000 GPD
Proposed Designation (100 town house units x 300 GPD)	30,000 GPD 25,658
Increased Demand	13,000 GPD 8,658

5. Identify the projected or planned capacity for the short and long range planning horizons as included within the adopted comprehensive plan - provide demand projections and information regarding planned plant capacity expansions including year, funding and other relevant information. If additional wellfields are planned, provide status including the status of any permit applications.

Sunrise Plants	2000	2005
Current Demand	22.5 MGD	24.27 MGD
Design Capacity	33.4 MGD	36.3 MGD

6. Identify the existing and planned service to site - provide information regarding existing and proposed trunk lines and water main hookups to the amendment site.

The site is not currently served. The City of Sunrise has the capacity and will provide potable water service for this site. The Potable Water Atlas shows a main along Pine Island Road. Davie has water and sewer lines on Orange Drive but by agreement cannot serve the site. The proposed development will utilize the existing offsite facilities.

7. Letter from utility verifying the above information.

See Exhibit F. Letter has been requested.

**DRAINAGE ANALYSIS:**

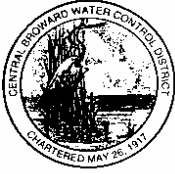
1. Provide the adopted level of service standard for the service area in which the amendment is located and the current level of service.

Per the Central Broward Water Control District (CBWCD) criteria all habitable structures shall be set at or above the higher of:

Federal Emergency Management Agency (FEMA) Flood Studies  
 Broward County 100-Year Flood Studies

# **EXHIBIT G**

## **DRAINAGE VERIFICATION LETTER**



## CENTRAL BROWARD WATER CONTROL DISTRICT

8020 STIRLING ROAD (DAVIE)  
HOLLYWOOD, FLORIDA 33024

### BOARD OF COMMISSIONERS

Wayne Arnold, Chair  
Marian M. Russell, Vice-Chair  
Kevin Biederman  
Cris Fardelmann  
Tom Green  
Sandra Switzer

TELEPHONE: (954) 432-5110

FAX: (954) 432-8603

E-Mail: culvert@gate.net

November 25, 2002

Mr. Hoyt Holden  
Calvin, Giordano & Associates  
1800 Eller Drive, Suite 600  
Ft. Lauderdale, FL 33316

Re: Pine Island Commercial  
Land Use Amendment

Dear Mr. Holden:

Please be advised that the Central Broward Water Control District has adequate facilities to provide drainage for the above reference property and I have reviewed your drainage analysis and I am in agreement with your comments.

Do not hesitate to call should you need additional information.

Sincerely,

Michael Crowley  
District Manager

MC/vg

**EXHIBIT H**  
**SOLID WASTE**  
**VERIFICATION LETTER**



Public Works Department - SOLID WASTE OPERATIONS DIVISION  
1 N. University Drive, Suite 400-B • Plantation, Florida 33324 • 954-765-4202 • FAX 954-577-2392

September 06, 2002

Sent via fax 954-921-8807 & USPS

Mr. Hoyt Holden  
Calvin, Giordano & Associates, Inc.  
1800 Eller Drive, Suite 600  
Fort Lauderdale, Florida 33316

RE: Project # 02-2467

Dear Mr. Holden:

In response to your fax of September 06, 2002, I have reviewed the information provided on this project and have determined that Broward County does currently and will continue to have sufficient capacity to receive and process all solid waste generated by this project as outlined in your request.

I have attached, for your information, a fact sheet which outlines the current Broward County solid waste processing capacity. Should you have any questions please don't hesitate to contact me at 954-765-4202 Ext. 256.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Serra".

Michael J. Serra, SPC III  
Project management & Engineering Section

Broward County Board of County Commissioners  
Josephus Eggleston, Jr. • Ben Graber • Sue Gunzburger • Kristin D. Jacobs • Ilana Lieberman • Lori Nance Parish • John E. Rodstrom, Jr. • James A. Scott • Diana Wasserman-Rubin  
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Public Works Department  
**Office of Integrated Waste Management**  
1 North University Drive, Suite 400-B  
Plantation, FL 33324  
(954) 765-4202 • FAX (954) 577-2392

**SUBJECT:**

Capacity at Broward County Solid Waste Facilities

**SERVICE AREA:**

Broward County, excluding the cities of Dania Beach, Hallandale Beach, Pembroke Pines, Pompano Beach and Parkland.

**CURRENT CAPACITY (in tons):**

- 1.6 million tons/year (two waste-to-energy facilities @ 2,250 tons/day per plant).
- 2,800,000 cu. yd. at the Broward Interim Contingency Landfill (BIC).
- Central Disposal Sanitary Landfill, Pompano Beach, provides additional backup capacity on an as needed basis in accordance with contractual agreement.

**CONTRACTUAL REQUIREMENTS (WHEELABRATOR FACILITIES):**

1,095,000 tons per year. None at landfills.

**CURRENT DEMAND:**

1,050,000 tons total per year at Wheelabrator facilities. 80,000± tons per year at BIC.

**FUTURE CAPACITY:**

Each waste-to-energy facility is expandable by 33%. A third waste-to-energy facility location is reserved at the Broward County Landfill. There are no current plans for expansion of the waste-to-energy or landfill facilities.

**LOCATION OF FACILITIES:**

**PROCESSABLE WASTE (burnable)**

Wheelabrator South Broward, Inc.  
4400 South State Road 7  
Ft. Lauderdale  
(between I-595 & Griffin Road)

Wheelabrator North Broward, Inc.  
2600 N.W. 48th Street  
Pompano Beach  
(next to Central Disposal Landfill)

**NON-PROCESSABLE WASTE (non-burnable)**

Broward County Sanitary Landfill  
7101 SW 205th Avenue  
Ft. Lauderdale  
(East of U.S. 27 on Sheridan Street)

**RATES:** \$83.78/ton - Processable \$50.00/ton - Non-Processable

**OTHER MAJOR IN-COUNTY FACILITIES:**

Central Disposal Sanitary Landfill  
3000 N.W. 48th Street  
Pompano Beach  
(private landfill owned/operated by Waste Management)

Reuter Recycling  
20701 Pembroke Road  
Pembroke Pines  
(handles waste for non-contract communities)

c:\kastforms\capacity.cht (10/01)

Printed on recycled paper

**BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS — An Equal Opportunity Employer and Provider of Services**

Josephus Eggelston, Jr. Ben Graber Suzanne N. Gurozburger Kristin O. Jacobs Ilene Lieberman Lori Nance Parrish John E. Rodstrom, Jr. James A. Scott Diane Wasserman-Rubin  
Visit us on the Internet: [www.co.broward.fl.us/ciwm](http://www.co.broward.fl.us/ciwm)

#### SOLID WASTE GOALS, OBJECTIVES, AND POLICIES

Goal: Provide a solid waste disposal system which emphasizes resource recovery and meets all federal, state, and local environmental quality standards.

Objective 1: Reduce the solid waste stream by 30 percent by 1994 so as to conserve existing solid waste facilities.

Policy 1: The Office of Integrated Waste Management shall continue to utilize the following level of service standards which were adopted by the Board of County Commissioners to assess adequacy of service and concurrency.

<u>Land Use</u>	<u>Unincorporated Area &amp; Contract Cities</u>
Residential	8.9 lbs. per unit per day
Industrial & Commercial	
Factory/Warehouse	2 lbs. per 100 sq. ft. per day
Office Building	1 lb. per 100 sq. ft. per day
Department Store	4 lbs. per 100 sq. ft. per day
Supermarket	9 lbs. per 100 sq. ft. per day
Restaurant	2 lbs. per meal per day
Drug store	5 lbs. per 100 sq. ft. per day
School	
Grade School	10 lbs. per room & 1/4 lbs. per pupil per day
High School	8 lbs. per room & 1/4 lbs. per pupil per day
Institution	
Hospital	8 lbs. per bed per day
Nurse or Intern Home	3 lbs. per person per day
Home for aged	3 lbs. per person per day
Rest Home	3 lbs. per person per day

These levels of service shall be used to determine adequacy at the time of plat approval for all properties that are required to plat and for those properties within the Unincorporated Area that are not required to plat, at the time of site plan approval. Also, these standards shall be utilized to determine concurrency.

Policy 2: The Office of Integrated Waste Management shall continue to establish programs which implement ss. 403.706 "Local Government Solid Waste Responsibilities," Florida Statutes regarding solid waste management and recycling.

ss. 403.706 (4), Florida Statutes states that, at a minimum, the amount of



**EXHIBIT I**  
**MASS TRANSIT**  
**VERIFICATION LETTER**



Community Services Department - MASS TRANSIT DIVISION  
3201 W. Copans Road • Pompano Beach, Florida 33069

Administration 954-357-8300 • FAX 954-357-8305 - Maintenance 954-357-8423 • FAX 954-357-8350  
Marketing and Communications 954-357-8355 • FAX 954-357-8371 - Operations 954-357-8383 • FAX 954-357-8378  
Paratransit 954-357-8329 • FAX 954-357-8345 - Service Development 954-357-8375 • FAX 954-357-8342  
Transit Information Systems 954-357-6792 • FAX 954-357-8300

November 25, 2002

Hoyt Holden  
Calvin, Giordano & Associates, Inc.  
1800 Eller Drive, Suite 600  
Fort Lauderdale, FL 33316

**RE: Town of Davie Land Use Plan Amendment  
Pine Island Commercial – NW Corner of Pine Island Road and Orange Drive**

Dear Mr. Holden:

Your fax-memorandum dated November 25, 2002, regarding the proposed site for the **Town of Davie Land Use Plan Amendment**, has been reviewed by Mass Transit (BCT) for current and planned bus service.

There is no fixed-route bus service to the amendment area. The nearest fixed-route bus service to the amendment site is on University Drive and is provided by BCT Route 2, which operates at twenty-minute (20) intervals (headways) on weekdays and 40 minutes on weekends (Saturday and Sunday).

Staff anticipates no increase in the number of transit trips as a result of this amendment.

Future route improvements for the amendment area have been identified in the five-year 2002-2003 update to the TDP (Transit Development Plan). However, these are unfunded. When and if, funding becomes available, they will be implemented. An extension of Route 88 service is proposed for the Pine Island Road segment. Additionally, Griffin Road has been identified in the TDP and long range plans for a future transit route.

Please call me at 357-8351, if you need more information.

Sincerely,

A handwritten signature in black ink, appearing to read "David Daniels", written over a horizontal line.

David Daniels  
Associate Planner

c: Spencer Stoleson

Broward County Board of County Commissioners  
Josephus Eggleston, Jr. • Ben Graber • Sue Gunzburger • Kristin D. Jacobs • Ilene Lieberman • Lori Nance Parrish • John E. Rodstrom, Jr. • James A. Scott • Diana Wasserman-Rubin  
[www.broward.org/bct](http://www.broward.org/bct)